



HEM 1.1

MEMO DATE: APRIL 9, 2019

MEETING DATE: APRIL 15, 2019

TO: BENTON COUNTY HEARINGS EXAMINER

FROM: BENTON COUNTY PLANNING DEPARTMENT

RE: CONDITIONAL USE PERMIT – CUP 2019-001
Aquilini Red Mountain Vineyards, LP

APPLICANT Luigi Aquilini, President and Sole Director

PROPERTY OWNER: Aquilini Red Mountain Vineyards, LP
Jamie Mallis, Project Manager
Aquilini Center, Gate 16 In Rogers Arena
700 Pat Quinn Way, Vancouver, BC Canada

SPECIFIC REQUEST: The applicant is applying for a conditional use permit for a Wine Processing Facility in conjunction with a tasting room and meeting room adjacent to the main facility on adjoining parcels. Parcel (A) 1-1597-200-0002-001, for the Wine Production Facility. Parcel (B) 1-1597-300-0005-000, will be used for a Waste Water Lagoon. The applicant is proposing 2 phases with the first being the grading and construction of the wine production facility and the second being the tasting room.

BACKGROUND:

Site Location: The 21.52 acres site is located South of WA 224 being Southwest of the intersection of WA 224 and Antinori Road in Section 15, Township 9 North, Range 27 East, W.M. (Access from WA 224 to the property and a site address have yet to be determined).

Land Use: The site is currently undeveloped and has an old rock quarry/stockpile site. The applicant is proposing to construct and operate a 137,000 (thousand) sq. ft. wine processing facility with a connected 18,000 (thousand) sq. ft. gravity flow wine facility, a 7,500 (hundred) sq. ft. facility with tasting and meeting rooms with a kitchen/catering area, barrel storage area, and allowing for on-site sales and private events to include wine release parties, etc.

The area surrounding the proposed site has a mixture of residential and agricultural uses with vineyards over most of the surrounding area. Wine Production Facilities and an on-site tasting room and associated business offices over 3000 sq. ft. are all uses permitted in the RL-5 Zoning District with a Conditional Use Permit. In association with the wine processing facility, a "Waste Water Lagoon" is being proposed on property under the same contiguous ownership (Parcel 1-1597-300-0005-000).

The parcel for the processing facility is 21.54 acres. The applicants are also owners of surrounding properties that include 350 +/- acres consisting of out-ground shrub step and vineyards planted in wine grapes. The Lagoon is being proposed on a parcel under the same ownership 2,500 feet to the south of the parcel with the proposed winery.

Zoning: The site and surrounding properties are zoned RL-5, allowing agricultural uses and wineries exceeding 3000 sq. ft. with a Conditional Use Permit. Property is located within Fire District 4 of Benton County.

Per Benton County Code 11.11.060(j), wineries over 3000 sq. ft. require a public hearing and Conditional Use Permit approval through the Hearings Examiner of Benton County.

Comprehensive Plan Designation: Site and surrounding areas are designated Rural Remote.

State Environmental Policy Act: This application required review of a SEPA Environmental Checklist per the requirements of the Washington State Environmental Policy Act under WAC 197-11-800(13). A Mitigated Determination of Non-Significance (MDNS) was issued under WAC 197.11.340(2) on November 8, 2018 based on the information submitted for EA 2018-017. Conditions of the MDNS are attached to this staff memo and are added to this Conditional Use Permit as Conditions of Approval if this permit is to be granted by the Hearings Examiner.

11.11.060 USES REQUIRING A CONDITIONAL USE PERMIT.

The following uses may be permitted on a single parcel of record within the Rural Lands Five Acre District (RL-5) if a conditional use permit is issued by the Hearings Examiner after notice and public hearing as provided by BCC 11.50.040.

- (a) A school.
- (b) A community clubhouse, grange hall, senior center and/or other non-profit organizational hall.
- (c) A storage yard owned and operated by a utility.
- (d) A sand or gravel pit, stone quarry and similar use for the development of natural resources extracted on-site.
- (e) Bed and Breakfast Facility, subject to the provisions in BCC 11.42.030.
- (f) Kennel, commercial.
- (g) Home occupation involving the display and/or sale of products on the premises; provided, a home occupation permit is also required under Chapter 11.49 BCC.
- (h) On-site hazardous waste treatment and/or hazardous waste storage facilities as an accessory use to an allowed or conditionally permitted use; provided, that such facilities must comply with the state siting criteria adopted in RCW 70.105.210, as currently in effect or as hereafter amended.
- (i) Child Day Care Facility, Type B, subject to the provisions of BCC 11.42.060.
- (j) Wineries/Breweries/Distilleries not otherwise allowed under BCC 11.11.030.**
- (k) Cemetery, columbarium, 11.11.060 11-67 (BCC 12/20/18)
- (l) Sewage treatment facility for industrial and/or domestic waste.
- (m) Rodeo facilities.
- (n) Reception facility with a capacity not to exceed two hundred (200) attendees.
- (o) A Park.
- (p) A golf course.
- (q) Recreational Vehicle Park.
- (r) A public transit center.
- (s) Airport/Heliport.
- (t) Church, if not otherwise allowed under BCC 11.11.030.
- (u) Business activities, other than those set forth above, that are compatible with the principal uses and purpose of the underlying zone and the surrounding land uses may be conducted from within an approved accessory building detached from all dwelling units if the following criteria as well as any other conditions required by the Hearings Examiner are satisfied:
 - (1) The business activity must take place on a parcel of land that is 2.0 acres or greater in size.
 - (2) There must be a residence on site, and at least one (1) of the proprietors of the business must be the owner or lessee of the property where the business and the residence are located and must reside in said residence.
 - (3) No more than four (4) non-resident persons, whether they work on site or not, may be employed by or be partners in the business.
 - (4) The business activity, including all storage space, shall not occupy more than two thousand (2,000) square feet of total floor area within the detached accessory building.

(5) Only one (1) approved detached accessory building on a parcel may be used for business activities. If more than one (1) business will be conducted within an approved detached accessory building, then a separate application must be submitted for each business activity, provided that the total area used by all business activities shall not exceed that permitted by BCC 11.11.060(u)(4).

(6) No more than two (2) non-illuminating signs, with a maximum area of four (4) square feet each, shall be permitted in connection with the business activity. The posting of such signs is limited to the parcel on which the approved detached accessory building is located. On-street (inside the road right-of-way) sign posting and sign posting which interferes with the line-of-site for road intersections are prohibited.

(7) Not more than three (3) vehicles marked to identify the business may be on the parcel at any one time. No other onsite outside storage of vehicles, equipment and/or supplies is allowed in connection with the business activity. This prohibition applies to, but is not limited to: lumber, plasterboard, pipe, paint, inoperable vehicles, and heavy equipment that are related to the business.

(8) The property owner and the proprietor(s) of the business shall comply with all requirements of the Benton County Building Department, the Benton County Fire Marshal, the Benton-Franklin Health District, and all other local, state and federal regulations pertinent to the business activity pursued. The requirements of or permission granted by the Hearings Examiner shall not be construed as an exemption from such regulations.

(9) Adequate off-street parking, as determined by the Hearings Examiner, must be provided.

(10) Any waste created as a result of the business activity must be disposed of off-site in compliance with all local, state and/or federal regulations.

(11) The presence of customers/clients and non-resident employees at the location of the business activity shall be limited to the days and hours of operation as determined by the Hearings Examiner.

(12) The business activity does not require a marijuana processor or retailer license from the Washington State Liquor Control Board.

(v) Commercial stables and/or riding academies.

11.50.040 CONDITIONAL USE

(a) **Conditional Use Permit-General Standards.** The Conditional Use Permit application process allows the Hearings Examiner to review the location and design of certain proposed uses, the configuration of improvements, and the potential impacts on the surrounding area. The application process also allows the Hearings Examiner to ensure that development in each zoning district protects the integrity of that district. The notice, hearing, decision and enforcement procedures are as set forth herein and in BCC 11.50.050. Certain uses are classified as conditional uses because of their unusual nature, infrequent occurrence, special requirements, or potentially significant impacts to the environment, public infrastructure or adjacent properties, and/or possible safety hazards and other similar reasons. Once granted, a Conditional Use Permit may be transferred by a holder thereof after written notice to the Hearings Examiner; provided the use and location must remain the same and the transferee must continue to comply with the conditions of the permit and, if applicable, the requirements set forth in Chapter 11.51 BCC.

(b) **Conditional Use Application Required—Non-Refundable Application Fee.** The Planning Department shall provide application forms for Conditional Use Permits and prescribe the type of information to be provided in the application. No application shall be processed unless it complies with the requirements of this section. A completed application for a Conditional Use Permit shall be filed with the Planning Department accompanied by a non-refundable fee as set by resolution of the Board of County Commissioners.

(c) **Conditional Use Application-Site Plan Required.** The Planning Department shall require the applicant to submit an application and a site plan as part of the application whenever such a permit is required for that use under the applicable zoning district. The application and site plan shall contain the following information:

- (1) Identify the proposed use and associated facilities, together with the names, addresses and telephone numbers of the owner or owners of record of the land and of the applicant, and, if applicable, the names, addresses and telephone numbers of the architect, planner, designer, and/or engineer;
- (2) The proposed use or uses of the land and buildings; and,
- (3) A site plan drawing or drawings at a scale of not less than one-inch equals fifty feet (1"=50'), unless an alternate scale is approved by the Planning Administrator. The site plan drawing(s) shall include the following:
 - (i) Location of all existing and proposed structures, including, but not limited to, buildings, fences, culverts, bridges, roads and streets;
 - (ii) Boundaries, dimensions and square footage of the parcel or parcels involved;
 - (iii) All setback lines;
 - (iv) All areas, if any, to be preserved as buffers or to be dedicated to a public, private or community use, or for open space under the provisions of this title;
 - (v) All existing and proposed easements;
 - (vi) Location of all utility structures and lines;
 - (vii) All means of vehicular and pedestrian ingress and egress to and from the site and the size and location of driveways;
 - (viii) Location and design of off-street parking areas showing their size and locations of internal circulation and parking spaces;
 - (ix) Location of all loading/unloading areas, including, but not limited to, loading platforms and loading docks where trucks will load or unload;
 - (x) Topographic maps, when the Planning Administrator deems the maps necessary for adequate review, which delineate existing and proposed contours, at intervals of two (2) feet and show the location of existing lakes, streams, and storm water drainage systems from existing and proposed structures, together with an estimate of existing maximum storm runoff, and any other information deemed pertinent for adequate review.
 - (xi) Identification of all special districts, such as fire, school, sewer, drainage improvements, and irrigation districts, in which the proposed use would be located; and,
 - (xii) The proposed number of square feet of paved or covered surfaces, whether covered by buildings, driveways, parking lots or any other structure covering land.

(d) **Conditional Use-Permit Granted or Denied.** A Conditional Use Permit shall be granted only if the Hearings Examiner can make findings of fact based on the evidence presented sufficient to allow the Hearings Examiner to conclude that, as conditioned, the proposed use:

- (1) Is compatible with other uses in the surrounding area or is no more incompatible than are any other outright permitted uses in the applicable zoning district;
- (2) Will not materially endanger the health, safety, and welfare of the surrounding community to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- (3) Would not cause the pedestrian and vehicular traffic associated with the use to conflict with existing and anticipated traffic in the neighborhood to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- (4) Will be supported by adequate service facilities and would not adversely affect public services to the surrounding area; and
- (5) Would not hinder or discourage the development of permitted uses on neighboring properties in the applicable zoning district as a result of the location, size or height of the buildings, structures, walls, or required fences or screening vegetation to a greater extent than other permitted uses in the applicable zoning district.

It is the applicant's burden to present sufficient evidence to allow the above conclusions to be made. If such evidence is not presented or all necessary reasonable conditions are not identified by the applicant so as to allow the Hearings Examiner to make the conclusions required above, the conditional use application shall be denied.

11.50.050 PROCEDURES—VARIANCE AND CONDITIONAL USE PERMITS.

- (a) **Variance or Conditional Use —Application—Urban Growth Area— Notice to City.** When a proposal requiring review under BCC 11.50.030 or BCC 11.50.040 is submitted with respect to a parcel within or partially within an Urban Growth Area, as designated on the Benton County Comprehensive Plan map, the Planning Department shall refer the variance or Conditional Use Permit application to the respective city for comment. The Hearings Examiner shall consider comments from such city unless the respective city fails to supply comments to the Hearings Examiner prior to, or at the open record hearing. In such case, the Hearings Examiner will assume that the city intends to make no comment.
- (b) **Variance or Conditional Use Permit—Application—Open Record Hearing—Notice Required.** The Hearings Examiner will hold an open record hearing consistent with Title 17 BCC (Permit Review Process) on all variance and Conditional Use Permit applications. The notice of such open record hearing shall be given as follows:
- (1) The Planning Department shall provide written notification for an open record hearing, subject to the rules and regulations set forth in RCW 36.70. Written notice shall be mailed at least twelve (12) days in advance of the open record hearing to the applicant and the owner of the parcel(s) to which the proposed variance or Conditional Use Permit would apply, and to all owners of real property, as shown in the records of the Benton County Assessor, located within a distance of three hundred (300) feet of any portion of the applicable parcel, provided that if the owner of the parcel for which the proposed variance or Conditional Use Permit is requested owns another parcel or parcels adjacent the parcel at issue, notification shall be mailed to owners of real property located within three hundred (300) feet of any portion of such adjacent parcels as well. Failure to receive the notice shall not invalidate any proceedings or decision in connection with the proposed variance or Conditional Use Permit. Notices addressed to the last known owner of record as shown on the County Assessor's records shall be deemed proper notice to the owner of such property; and,
 - (2) By publication of a legal notice in a newspaper of general circulation in the County at least ten (10) days prior to the open record hearing date.
- (c) **Variance or Conditional Use Permit—Application—Approval or Denial—Decision Final.**
- (1) Following the conclusion of an open record hearing on a variance or Conditional Use Permit application, the Hearings Examiner shall approve, approve with conditions, or deny the requested variance or Conditional Use Permit. If the Hearings Examiner grants a variance or a Conditional Use Permit, he or she shall also recite the conditions and limitations that are imposed. The decision shall be in writing and shall include the Hearings Examiner's conclusions and the findings of fact supporting such conclusions. Upon receipt of a written request from an applicant stating the reasons for requesting the reconsideration, it is within the discretion of the Hearings Examiner to re-open the open record hearing on any matter prior to the adoption of such written decision; provided, written notice of such request and any hearing to consider the request must be given to all persons providing evidence to the Planning Department for submittal to the Hearings Examiner or who provided evidence at a hearing on such matter.
 - (2) Each Conditional Use Permit approved by the Hearings Examiner shall specify the location, nature and extent of the conditional use, together with all conditions that are imposed to ensure the proposed use is consistent with all applicable state laws, the Benton County Code, the Benton County Comprehensive Plan and any other information deemed necessary for the issuance of the permit.
 - (3) The written decision of the Hearings Examiner on an application for a variance or Conditional Use Permit shall be final. There are no administrative appeals on applications for variances or Conditional Use Permits. Judicial appeals of the Hearings Examiner's decision on variances or Conditional Use Permits must be made in accordance with state law.
- (d) **Variance or Conditional Use Permit—Application—Conditions of Approval—Noncompliance—Permit Issuance or Non-Issuance.** Any conditions imposed by the Hearings Examiner that must be met prior to issuance of a variance or Conditional Use Permit shall be so specified. In such case, the Planning Department shall not issue a variance or Conditional Use Permit until those specified conditions of approval, as set by the Hearings Examiner, have been met. No variance or Conditional Use Permit shall

become effective until issued by the Planning Department. If such specified conditions have not been met and the Planning Department does not issue the variance or Conditional Use Permit within one (1) year from the time the Hearings Examiner conditionally approved the variance or Conditional Use Permit, the Hearings Examiner may declare its approval null and void. Prior to doing so, the applicant shall be notified in writing at the applicant's last known address at least twelve (12) days in advance. If the Hearings Examiner finds that the conditions have not been met, it shall adopt a written decision and findings of fact to support that decision.

- (e) **Variance or Conditional Use Permit—Violations and Penalties— Permit Revocation.** Any person who violates any term or condition of a variance or Conditional Use Permit shall be considered in violation of this title and shall be subject to the penalties prescribed in Chapter 11.43 BCC. If the variance or Conditional Use Permit has been issued by the Planning Department and violations exist, the Hearings Examiner may revoke the permit after an open record hearing with notice as set forth in BCC 11.50.050(b).

FINDINGS OF FACT:

Based on the application and information received the planning staff makes the following findings.

1. The applicant/property owner for CUP 2019-001 is Aquilini Red Mountain Vineyards, LP. Contact person for the applicant is Jamie Mallis, Project Manager. The Applicant/owner's mailing address is Aquilini Center, Gate 16 in Rogers Arena 700 Pat Quinn Way, Vancouver, BC Canada.
2. The 21.52 acres site is located South of WA 224 being Southwest of the intersection of WA 224 and Antinori Road in Section 15, Township 9 North, Range 27 East, W.M. (Access from WA 224 to the property and a site address have yet to be determined).
3. The area surrounding the proposed site has a mixture of residential and agricultural uses with vineyards over most of the surrounding area. Wine production facilities, on-site tasting rooms and associated business offices over 3000 sq. ft. are all uses permitted in the RL-5 Zoning District with a Conditional Use Permit. In association with the wine processing facility, a "waste water lagoon" is being proposed on property under the same contiguous ownership (Parcel 1-1597-300-0005-000).

The parcel for the processing facility is 21.54 acres. The applicants are also owners of surrounding properties that include 350 +/- acres consisting of out-ground shrub step and vineyards planted in wine grapes. The Lagoon is being proposed on a parcel under the same ownership 2,500 feet to the south of the parcel with the proposed winery.

4. The application for CUP 2019-001 was submitted to Benton County on March 8, 2019 and declared complete on March 11, 2019.
5. This Conditional Use Permit CUP 2019-001 did require an Environmental Evaluation under Benton County EA # 2018-017 SEPA Environmental Checklist after the required 14-day comment period and a review, all submitted comments were examined, and a Mitigated Determination of Non-Significance (MDNS) was issued.
6. The mitigated conditions for EA # 2018-017 are combined with the recommended Conditions of Approval from the Planning Department at the end of this staff memo.
7. The notice for the Benton County Hearings Examiner Open Record Hearing for application CUP # 2019-001 was published on April 3, 2019 in the Tri-City Herald and mailed to property owners of record within 300 feet of the outer boundaries of the parcel. The Open Record Hearing is scheduled for April 15, 2019 at the Planning Annex at 1002 Dudley Ave in Prosser.
8. The Washington State Department of Transportation commented during their review of the SEPA EA checklist (EA 2018-017) that the existing approach providing access from SR 224 is a Class 3 managed

road facility with a posted speed limit of 55 miles per hour. Currently, access to the site is via an unpermitted approach. However, because the intended use will be commercial in nature, a new Commercial Access and Approach will be required. The proponent must contact Mark Kaiser of the WSDOT South Central Region to upgrade this permit.

9. The Benton-Franklin Health District commented that they had no objections provided that:
 - "1. This site must be served by an approved Group A Well. The applicant will need to contact the State Department of Health to begin the process (509-329-2100) <- From my records I believe this is the phone # to their front desk operator. The State D.O.H. may ask that our office complete the well site review, as we are much closer to the proposed project. If that is the case, the applicant will need to submit a well site review application to this office.
 2. This office has received one septic system application for the Main Facility, and will need a second one submitted for the proposed Tasting Room. This office will not be issuing a septic system permit for either proposed buildings until the Group A Well has been applied for, drilled, inspected and approved by the State Department of Health. In addition, final approval/occupancy will not be granted until the associated on-site sewage system has been permitted, inspected and approved by this office.
 3. The applicant will need to contact, and obtain a permit for the treatment/disposal of the processed grape waste from the Department of Ecology prior to starting construction on Phase 2B (Fine Wine Production Facility)."
10. The Kennewick Irrigation District submitted comments stating:
 - "1. This parcel is within the Kennewick Irrigation District (KID) boundaries and is considered irrigable lands; therefore, it is assessed by the Kennewick Irrigation District.
 2. KID owned pipes and easements existing along the north and west property lines. Approval from KID is required for any grade changes within those easements."
12. The proposed use would not cause the pedestrian and vehicular traffic associated with the use to conflict with existing and anticipated traffic in the neighborhood to an extent greater than that associated with any other permitted uses in the Rural Lands-5 zoning districts such as schools, churches, libraries, community club houses, stills, packaging sheds etc.
13. The surrounding area is not currently developed but the proposed use as shown in the application would not hinder or discourage the development of permitted uses on neighboring properties in this RL-5 which allows both agriculture and residential uses.
14. **BCC 11.11.080 PROPERTY DEVELOPMENT STANDARDS--GENERAL STANDARDS.** (c) Maximum Lot Coverage. Each parcel shall have a maximum lot coverage of forty (40) percent.

DISPOSITION OF THE APPLICANT'S REQUEST:

A Conditional Use Permit shall be granted only if the Hearings Examiner can make findings of fact based on the evidence presented sufficient to allow the Hearings Examiner to conclude that, as conditioned, the proposed use:

- (1) Is compatible with other uses in the surrounding area or is no more incompatible than are any other outright permitted uses in the applicable zoning district;
- (2) Will not materially endanger the health, safety, and welfare of the surrounding community to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- (3) Would not cause the pedestrian and vehicular traffic associated with the use to conflict with existing and anticipated traffic in the neighborhood to an extent greater than that associated with any other permitted uses in the applicable zoning district;
- (4) Will be supported by adequate service facilities and would not adversely affect public services to the surrounding area; and
- (5) Would not hinder or discourage the development of permitted uses on neighboring properties in the applicable zoning district as a result of the location, size or height of the buildings, structures, walls, or

required fences or screening vegetation to a greater extent than other permitted uses in the applicable zoning district.

It is the applicant's burden to present sufficient evidence to allow the above conclusions to be made. If such evidence is not presented or all necessary reasonable conditions are not identified by the applicant so as to allow the Hearings Examiner to make the conclusions required above, the conditional use application shall be denied.

If the Hearings Examiner decides to approve this Conditional Use Permit Application CUP 2019-001 based on the information presented at the public hearing and after making such findings that support that decision, the Planning Department would recommend that the following conditions be reviewed and considered by the Hearings Examiner:

RECOMMENDED CONDITIONS OF APPROVAL:

1. The applicant shall not conduct any of the activities within the scope of Conditional Use Permit CUP 2019-001 until the applicant is in compliance with all conditions set forth herein. The applicant shall notify the Benton County Planning Department in writing when the conditions set forth herein have been completed. The Planning Department shall not issue the conditional use permit and shall not become effective until all listed conditions have been satisfied.
2. If the conditions of approval have not been met and the Planning Department does not issue the conditional use permit within one (1) year from the time the Hearings Examiner conditionally approved this permit, the Hearings Examiner may declare its approval null and void at a regular Hearings Examiner meeting. Prior to doing so, the applicant shall be notified in writing at the applicant's last known address at least twelve (12) days in advance of the upcoming hearings examiner meeting.
3. The applicant must obtain the appropriate building permits. The applicant must submit written documentation that all the required permits and approvals have been obtained from the Benton County Building Department. The applicant shall meet this requirement for any additional buildings that may be constructed on site while Conditional Use Permit CUP 2019-001 is in effect.
4. The applicant must comply with all requirements included in the Benton Franklin Health District letter dated March 28, 2019. The applicant shall continue to meet all such requirements while Conditional Use Permit CUP 2019-001 is in effect.
5. The applicant must provide on his building site plan the area where parking will be designated. If required by the Building Department at least one parking stall to meet current ADA (Americans with Disabilities Act) standards may be required. The applicant shall continue to meet all such parking requirements while Conditional Use Permit CUP 2019-001 is in effect.
6. The applicant must meet all requirements of the Washington State Department of Transportation (WSDOT) and contact Mark Kaiser of the WSDOT South Central Region to upgrade their permit.
7. The applicant must work with and meet all Kennewick Irrigation District (KID) requirements regarding their owned pipes and easements existing along the north and west property lines. Approval from KID is required for any grade changes within those easements.
8. No more than one (1) non-illuminating sign will be allowed, no additional signage shall be permitted without a separate Conditional Use Permit for the additional signage. The applicant shall continue to meet all such requirements while Conditional Permit CUP 2019-001 is in effect.
9. Outside storage of supplies is allowed in connection with the activity. The applicant shall contain said storage area and keep all materials behind an enclosure as to not create an attractive nuisance or

trespassers to enter onto the property. Applicant is to continue to meet all such requirements while Conditional Use Permit CUP 2019-001 is in effect.

10. The property owner and the proprietor(s) of the business shall comply with all requirements of the Benton County Building Department, the Benton County Fire Marshal, the Benton-Franklin District Health Department, and all other local, state and federal regulations pertinent to the business pursued. The requirements of or permission granted by the Hearings Examiner shall not be construed as an exemption from such regulations. The applicant shall continue to meet all such requirements while Conditional Use Permit CUP 2019-001 is in effect.
11. Any waste created as a result of this Conditional Use Permit must be disposed of off-site in compliance with all local, state and/or federal regulations in a timely manner.

In addition to the above Recommended Conditions of Approval, the following must be completed to meet the MDNS Threshold Determination under SEPA:

SEPA MITIGATION REQUIREMENTS FOR EA 2018-017

As per the MDNS issued by the Benton County Planning Department, the applicant must complete and comply with the following conditions for the Mitigated Determination of Non-Significance (MDNS) prior to final issuance of Conditional Use Permit CUP 2019-001 in conjunction with the above Conditions of Approval. Conditions 2-9 must be met prior to winery processing on this parcel. Proof of compliance with these mitigation measures must be provided to the Planning Department.

1. The applicant must submit and be approved for a Conditional Use Permit for a Winery over 3000 sq. ft. Per Benton County Code Ordinance 611, Section 44(j) Uses requiring a Conditional Use Permit (now BCC 11.11.060). The combination of the total buildings in this facility will exceed the 3000 sq. ft. maximum allowed without additional permitting therefore; a Conditional Use Permit must be approved by the Benton County Hearings Examiner under BCC 11.11.060, Conditional Use Permits required prior to construction and in effect at the time of SEPA submittal.
2. The applicant must meet the requirements submitted by the Washington State Department of Transportation in their letter dated November 1, 2018. Contact **Mark Kaiser WSDOT South Central Region (509) 577-1668**.
3. The applicant must meet the Washington State Department of Ecology requirements noted in their letter dated October 25, 2018 regarding water resources for the proposed use and the potential need for a Winery Wastewater and Erosion Sediment Control Plan. **Contact JoLee Ramos (509) 454-4173, Union Gap Office.**
4. The applicant must meet the Washington State Department of Health Potable Water requirements noted in an email dated October 25, 2018 from Deborah Johnson, Wellhead Protection Specialist for domestic use and wine production. **Mr. Jeff Johnson, DOH, Office of Drinking Water. Eastern Region office, (509) 329-2110.** should be contacted to discuss this project and to clarify what type of public water system is appropriate for this project.
5. The applicant must meet the State of Washington Department of Archaeology & Historic Preservation requirements referenced in their comments submitted on October 24, 2018 stating that because the project site has the potential to contain archaeological resources, they are requesting that the applicant conduct a professional archaeological survey of the project area prior to ground disturbing activities. They have also recommended further consultation with the concerned Tribes' cultural committees and staff regarding cultural resource issues. **Contact Dennis Wardlaw, Transportation Archaeologist (360) 586-3085.** After conclusion of the requested study it was determined that, no archaeological resources were discovered.

6. The applicant must comply with the requirements of the Benton Franklin Health District submitted by email on October 16, 2018 regarding septic system requirements and the application for a Public Water Supply and for any possible Food Permits. **Contact Shawn Brown, Environmental Health Specialist II (509) 460-4320.**
7. The applicant must satisfy the mitigation requirements of Benton County Fire District # 4 received October 16, 2018 regarding Required Water Supply for Fire Suppression for Type II-A or Type III-A Construction, Building Height Requirements, mitigation for wildland fires, carbon dioxide limits and mitigated response times. **Contact William (Bill) Whealan Fire Chief, District #4 West Richland, WA. (509) 967-2496.**
8. The applicant must satisfy the requirements of the Benton County Fire Marshal as noted in his email dated October 16, 2018, regarding a lined pond for fire suppression, high piled storage sprinklered areas, smoke/heat vents and draft curtains being required, fire pond pump installation, sprinkler system is to be fully supervised, and approval of the Benton County Fire Marshal.

CURRENT STATUS ON SEPA MDNS REQUIREMENTS FOR EA # 2018-017 AND CUP 2019-001.

The following is a status update from the applicant on the Mitigation Measures required in the Determination of Mitigated Non-Significance (EA 2018-017) at the time they applied for the Conditional Use Permit:

1. **Grading Permit is required prior to moving earthen material.** Preliminary grading permit application and drawings were submitted with the SEPA application (September 28, 2018 / October 2, 2018) and issued November 8, 2018. JUB Engineers resubmitted the revised/updated grading plan on 3/6/2019 and the grading permit was issued from Benton County Building Department.
2. **A Conditional Use Permit approval is required for a Wine Production Facility exceeding 3000 sq. ft. maximum square footage in the RL-5 Zoning District.**
3. Washington State Department of Transportation (**WSDOT**) requirements for SR-224 access & Signage. JUB Engineers has been in contact with WSDOT to coordinate their preferred access/approach and the current proposed access is shown on page C-100 of the drawing package. The Access Connection Permit will be obtained prior to construction per WSDOT letter dated 10/29/2018. All future winery signage will comply with state and local criteria and will be permitted under a separate application.
4. **Washington State Dept of Ecology requirements for Wastewater Management.** Our current drawings (refer to sheet C-100) indicate a 3.5-million-gallon process waste water lagoon south of the winery on parcel #1-1597-300-0005-000, with process waste water to be disposed of by 3 of the 7 allowable disposal options in the WA General Winery Permit (road dust abatement throughout Aquilini Vineyards (5-7%), evaporation (3-5%), and land-application via vineyard irrigation (88-90%)). All disposal methods will be subject to criteria of the WA General Winery Permit and the Department of Ecology's disposal requirements for holding and treatment.
5. **Washington State Dept of Ecology requirements for Water Resources.** Aquilini's water rights consultant, Pacific Ground Water Group, is working with the Central Regional Office of the Department of Ecology on mitigation measures and on transfer/aggregation of water rights for a new commercial well. We'll continue to keep the county apprised of the water rights effort as the Department of Ecology permitting process progresses.
6. **Washington State Department of Archaeology & Historic Preservation requirement for professional archaeological survey.** We engaged Northwest Anthropology LLC to complete the Cultural Resources Survey & Assessment for the project which found that **NO Historic Properties** (i.e., archaeological sites eligible for listing in the National Register of Historic Places) are located within the project area. Refer to Cultural Resources report provided to Benton County and WADAHP on 2/26/2019 via email and the Letter of No Effect, dated 3/6/2019 (enclosed).

7. **Benton-Franklin Health District requirements for Potable Water and Septic System.** See item 5 for status of proposed well with the Department of Ecology. Regarding Septic system, JUB Engineers submitted Septic System Permit application and documents to BFHD on 3/6/2019. Subject to continued conversations with BFHD, the proposed primary and secondary septic drainfields are shown on sheet C-100 and C101.
8. **Benton County Fire District requirements.** Our fire protection engineer (David Gramlich, Coffman Engineers) has been in correspondence with the Benton County Fire District and all code-required mitigation requirements will be addressed in the building permit drawings.
9. **Benton County Fire Marshal requirements.** Our fire protection engineer (David Gramlich, Coffman Engineers) has been in correspondence with the Benton County Fire Marshal and all code-requirements for the buildings' fire suppression systems will be addressed in the building permit drawings.

BENTON COUNTY PLANNING DEPARTMENT
CONDITIONAL USE APPLICATION
FILE NO. CUP 2019-001



1. Applicant Name Aquilini Red Mountain Vineyards, LP attn: Jaime Mallis, project manager
Applicant Address: Aquilini Centre, Gate 16 in Rogers Arena
700 Pat Quinn Way, Vancouver, BC Canada
Telephone number: Home _____ Work (604) 899-5394

2. Legal owners name: {same}
Legal Owners address: _____
Telephone number: Home _____ Work _____

If you wish to be contacted by email please list your email address:
jaime.mallis@aquilini.com, mark@upwardarchitecture.com

3. Parcel Number or Legal description of property for which permit is for:
#115972000002001 (winery) & #115972000002002 or 115972000002004 (lagoon)

4. If you are amending a previous conditional use/special use permit please list the file number(s):

5. The Conditional Use Permit is requested to conduct the following use: **Please be as specific and detailed as possible. Use additional paper if necessary.** _____
Phase 1: Construct new 137,000 SF wine processing facility in an existing abandoned gravel pit at Red Mountain, near the intersection of SR-224 & Antinori Road. **Phase 2:** Construct a new/connected +/- 18,000 SF Gravity-Flow wine facility & +/- 7,500 SF tasting room. (refer to attached Architectural & Civil drawings)

6. The property will be served by:
WATER: Well X Private System _____ City System _____
SEWER: Septic Tank X City Sewer _____
POWER: PUD X REA _____
PHONE: Yes X No _____ Name of Utility Frontier
GAS: Yes _____ No X Name of Utility _____
CABLE: Yes _____ No X Name of Utility _____
IRRIGATION: Yes X No _____ Name of Utility Kennewick Irrigation District
PRIVATE IRR. Yes _____ No X

7. Total acres of property: 21.52 Zoning Classification of Property: Rural Lands 5 (RL-5)
Comprehensive Plan Designation Rural Remote

8. Describe existing structures and/or uses currently existing on your property, such as well, septic residential dwelling, garage, etc.:
The immediate site is an existing abandoned gravel pit. The remainder of the property is planted with vineyards owned, managed and harvested by Aquilini.

9. Describe existing structures and present land uses in the surrounding area of your property:
No existing structures are on the property. Present land use is Agricultural,
(vineyards owned, managed and harvested by Aquilini.)
-
10. Please answer the following questions. **PLEASE BE SPECIFIC - USE ADDITIONAL PAPER IF NECESSARY.**
- a. Is there a residence on site? Yes _____ No X
 - b. Does at least one of the proprietors of the business own or lease the property where the business and the residence are located? Yes X No _____
 - c. Does at least one of the proprietors live in said residence? Yes _____ No. X (n/a)
 - d. List the number of non-resident employees. max 25
 - e. What is the **total** square footage of the detached building to be used for the business? Phase 1: 137,000 SF Phase 2: 25,500
 - f. What is the **total** square footage that will be used for the business activity?
ALL
 - g. Is only one detached building to be used for the business activity? Yes X
No _____
 - h. Are any signs going to be used with the business activity? Yes X No _____
If yes, give the number, height and sizes of the sign(s) include a drawing of the sign to be used. Signage design package to be submitted under separate permit.
 - I. State the number of vehicles marked to identify the business to be stored on site.
none
 - j. List the number of off street parking spots Phase1: 33 Phase2:additional 23
 - k. What County Road does the site access off of? SR-224
 - L. List the preferred office hours for the presence of customer/clients and non-resident employees. Days of the week all days during harvest, Wed-Sun during off-season
Hours of Operation during harvest, 5am-8pm. tasting room (Phase 2) 11am-6pm
11. Applicant shall attach a site plan of the property, drawn to a scale of one inch equals fifty feet (1"=50') or one inch equal 100 feet (1"=100') unless otherwise specifically approved by the Planning Department, showing the following information.
- A. Dimensions of the property.
 - B. Location and size of the proposed use, number of parking spaces, etc., complete with distances between buildings and all property lines.
 - C. Location and size of existing structures, complete with distances, buildings and all property lines.
 - D. All streets, roads, easements, and rights-of-way located on or adjacent to this property. (Label structures and roadways)
 - E. Label and Show a floor plan for the structure to be used for the Business Activity.

COMMENTS OR PERTINENT INFORMATION:

The proposed winery is to be located on Parcel #115972000002001. A waste water treatment/holding lagoon is planned for parcel # or #115973000005000.

Any information submitted to the Benton County Planning Department is subject to public records disclosure law for the State of Washington (RCW Chapter 42.17) and all other applicable law that may require the release of the documents to the public.



March 7, 2019

Hearings Examiner
Benton County Planning Department
1002 Dudley Avenue
PO Box 1910
Prosser, WA 99350

Re: Aquilini Winery Conditional Use Permit Application and MDNS Mitigation Status

To whom it may concern:

In reference to the enclosed Conditional Use Permit Application and supporting drawings, following is a status update of the Mitigation Measures required in the Determinization of Mitigated Non-Significance (EA 2018-017):

1. **Grading Permit required prior to moving earthen material.** Preliminary grading permit application and drawings were submitted with the SEPA application (September 28, 2018 / October 2, 2018). JUB Engineers resubmitted the revised/updated grading plan on 3/6/2019 and the grading permit is expected to be issued within the coming weeks (likely prior to this hearing.)
2. **Conditional Use Permit required for facility exceeding maximum square footage.** (Current application)
3. **WSDOT requirements for SR224 access & Signage.** JUB Engineers has been in contact with WSDOT to coordinate their preferred access/approach and the current proposed access is shown on page C-100 of the drawing package. The Access Connection Permit will be obtained prior to construction per WSDOT letter dated 10/29/2018. All future winery signage will comply with state and local criteria and will be permitted under a separate application.
4. **WA Dept of Ecology requirements for Wastewater Management.** Our current drawings (refer to sheet C-100) indicate a 3.5-million-gallon process waste water lagoon south of the winery on parcel #115973000005000, with process waste water to be disposed of by 3 of the 7 allowable disposal options in the WA General Winery Permit (road dust abatement throughout Aquilini Vineyards (5-7%), evaporation (3-5%), and land-application via vineyard irrigation (88-90%)). All disposal methods will be subject to criteria of the WA General Winery Permit and the Department of Ecology's disposal requirements for holding and treatment.

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9. **Benton County Fire Marshal requirements.** Our fire protection engineer (David Gramlich, Coffman Engineers) has been in correspondence with the Benton County Fire Marshal and all code-requirements for the buildings' fire suppression systems will be addressed in the building permit drawings.

Please call or email with any questions or additional materials required for the CUP review prior to the Public Hearing; and both I and our Civil Engineer, Darral Moore, plan to attend the hearing.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Mark Ward', with a long horizontal line extending to the right.

Mark Ward, AIA
Upward Architecture



Allyson Brooks Ph.D., Director
State Historic Preservation Officer

March 6, 2019

Mr. Mark Ward
Upward Architecture
815 Boulevard South, Suite 321
Seattle, WA. 98134



In future correspondence please refer to:
Project Tracking Code: 2018-10-08338
Property: Benton County_ Aquilini Red Mountain Vineyards
Re: Archaeology - Concur with Survey

Dear Mr. Ward:

Thank you for contacting the State Historic Preservation Officer (SHPO) and the Department of Archaeology and Historic Preservation (DAHP) with documentation regarding the above referenced project. In response, we agree with the results and recommendations made in the survey report and the finding of no effect to historic properties.

These comments are based on the information available at the time of this review and on behalf of the SHPO pursuant to Washington State law. Please note that should the project scope of work and/or location change significantly, please contact DAHP for further review.

Thank you for the opportunity to review and comment. Should you have any questions, please feel free to contact me.

Sincerely,


Dennis Wardlaw
Transportation Archaeologist
(360) 586-3085
dennis.wardlaw@dahp.wa.gov



RECEIVED
 MAR 08 2019
 Benton Co. Planning Dept.

AQUILINI WINERY



CUP SUBMISSION
 MARCH 7, 2019

SITE ADDRESS
 AQUILINI WINERY
 823 MOUNTAIN AVE
 VAN GERSH HWY 204
 BENTON COUNTY, WA

OWNER
 AQUILINI INVESTMENT GROUP
 AQUILINI CENTER, GATE 18 IN ROGERS ARENA
 708 PAT QUINN WAY
 VANCOUVER BC CANADA
 PROJECT MANAGER: JAMIE MALLIS (778) 840-0345
 PRESIDENT/BRANDS: BARRY OLIVER (604) 377-1863

ARCHITECT
 T PIRNARD ARCHITECTURE & INTERIORS
 1115 SEATTLE BOULEVARD SOUTH
 SUITE 321
 SEATTLE, WA 98104
 (206) 266-0445
 CONTACT: MARK WARD

GENERAL CONTRACTOR
 TBD

CIVIL ENGINEER
 J&B ENGINEERS, INC
 2810 W CLEARWATER AVENUE
 SUITE 201
 KENNESAW, WA 98336
 (206) 783-2144
 CONTACT: DARRAL S. MOORE, PE

GEOTECHNICAL ENGINEER
 GEO PROFESSIONAL INNOVATION
 8 O'DONNELL ROAD
 PULLMAN, WA 99163
 (509) 338-2000
 CONTACT: TRAVIS WAMBEKE

WINE CONSULTANT
 COLUMBIA VALLEY WINERY CONSULTING LLC
 (509) 786-2144
 CONTACT: STEVE JOHNSON

STRUCTURAL ENGINEER
 SIMENSON SAY FACET STRUCTURAL ENGINEERING
 2124 THIRD AVENUE
 SUITE 100
 SEATTLE, WA 98101
 (206) 443-8212
 CONTACT: BLAZE SPRESKO, PE, SE

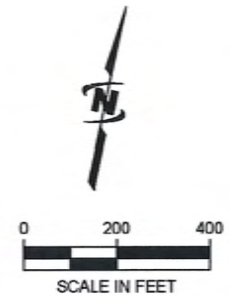
WATER RESOURCES PLANNING
 PROFIC GROUND WATER GROUP
 2377 EAST LAKE AVENUE EAST
 SEATTLE, WA 98102
 (206) 413-1510
 CONTACT: JILL VAN HULLE

MECHANICAL & PLUMBING ENGINEER
 COFFMAN ENGINEERS
 1101 2ND AVENUE
 SUITE 400
 SEATTLE, WA 98101
 (206) 423-2717
 CONTACT: OYVIND HAESS

FIRE PROTECTION ENGINEER
 COFFMAN ENGINEERS
 1101 2ND AVENUE
 SUITE 400
 SEATTLE, WA 98101
 (206) 423-2717
 CONTACT: DAWE GRAMMICH

ELECTRICAL ENGINEER
 CROSS ENGINEERS
 903 MARTIN LUTHER KING JR WAY
 TACOMA, WA 98403
 (253) 758-4118
 CONTACT: SCOTT KELLY

File Path: S:\2015\1115 PM - Printed By: Daniel Moore
 Date Created: 12/24/2015 11:15 AM



JUB
 J-U-B ENGINEERS, INC.
 J-U-B ENGINEERS, INC.
 2810 W. Clearwater Ave.
 Suite 201
 Kennewick, WA 99336
 Phone: 509.783.2144
 Fax: 509.736.0780
 www.jub.com



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NO.	REVISION	DESCRIPTION	BY	DATE

**AQUILINI WINERY
 RED MOUNTAIN AVA**
 OVERALL PROJECT AREA

FILE: 30-15-043-C-100
 JUB PROJ #: 30-15-056
 DRAWN BY: JGC
 DESIGN BY: MAM
 CHECKED BY: DSM
 ONE INCH =
 AT FULL SIZE, IF NOT ONE
 INCH SCALE ACCORDINGLY
 LAST UPDATED: 3/6/2015
 SHEET NUMBER:
C-100



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
www.jub.com

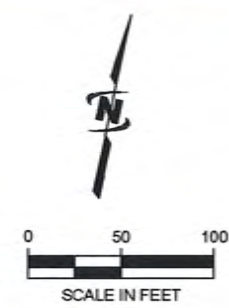
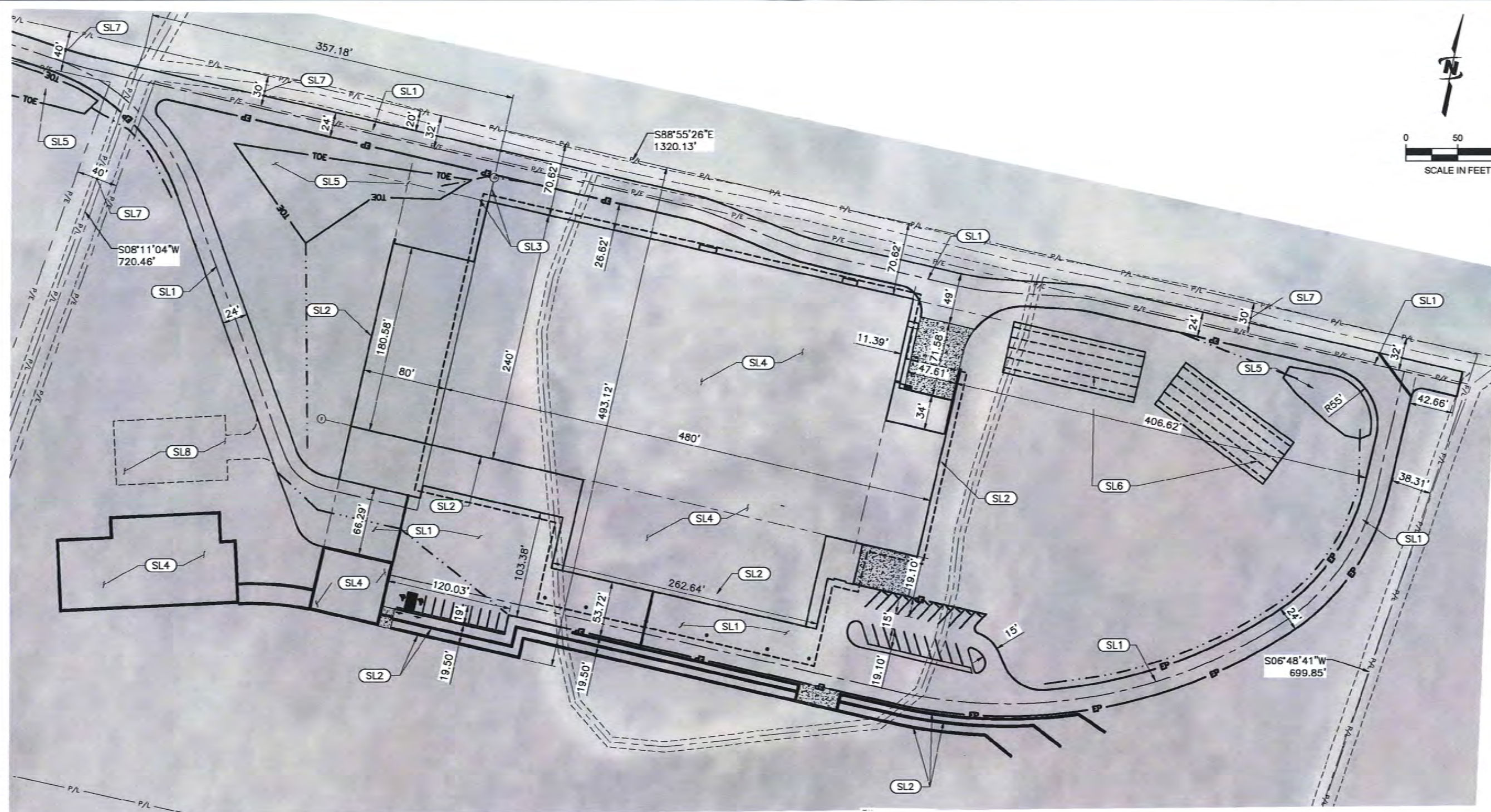


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NO.	REVISION	DESCRIPTION	DATE

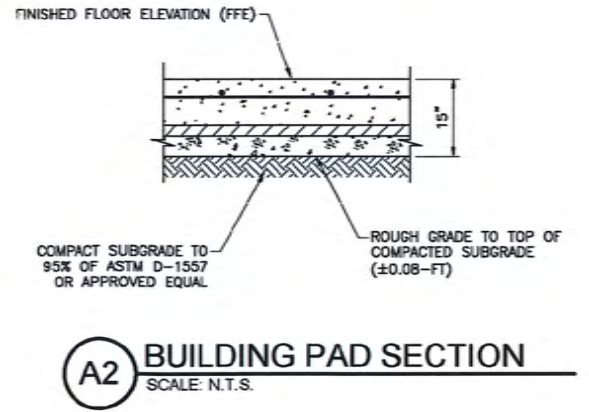
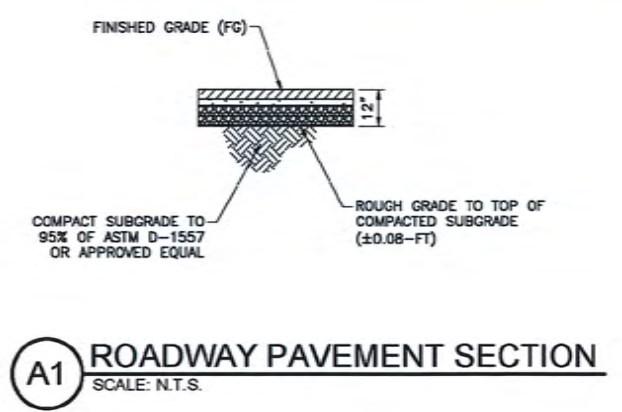
AQUILINI WINERY
RED MOUNTAIN AVA

SITE LAYOUT ALIGNMENT



KEYED NOTES:

- (SL1) PAVED ACCESS ROAD (A1)
- (SL2) RETAINING WALL. REFER TO STRUCTURAL PLANS FOR ADDITIONAL DESIGN INFORMATION. SEE SHEET C-201 FOR GRADING INFORMATION.
- (SL3) BLDG GRID LINE A/1
- (SL4) BUILDING SLAB (A2)
- (SL5) DRAINAGE BASIN. SEE SHEET C-201 FOR GRADING INFORMATION.
- (SL6) PROPOSED SEPTIC DRAINFIELD LOCATON
- (SL7) ACCESS/IRRIGATION EASEMENT AF#2013-035994
- (SL8) FUTURE PARKING AREA



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

Plot Date: 3/26/2015 1:16 PM. Plotted By: Darrel Moore. Date Created: 11/05/11. Project: C:\JUB\2013-035994 - AQUILINI WINERY AT RED MOUNTAIN AVA\DWG\C-101.DWG

FILE: 30-12445-0101
JUB PROJ #: 30-12-066
DRAWN BY: JG2
DESIGN BY: MAM
CHECKED BY: DSM
SCALE: ONE INCH = AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY.
LAST UPDATED: 3/6/2019
SHEET NUMBER:

C-101

PROJECT
AQUILINI WINERY
 PHASE 1

SITE ADDRESS
 14000 14TH AVE
 BENTON COUNTY, WA

OWNER
 AQUILINI INVESTMENT GROUP
 AQUILINI CENTRE, GATE 100 ROSSERS AVENUE
 BENTON COUNTY, WA
 PROJECT MANAGER: JAMES WILSON (736) 362-2424
 PROJECT MANAGER: SARA DUNN (509) 377-1863

WINE CONSULTANT
 STEVE JORDON
 COLUMBIAN VALLEY WINEERY CONSULTING LLC
 PHONE (509) 362-2144

CIVIL ENGINEER
 DANIEL L. BOWEN, P.E.
 JWB ENGINEERS, INC.
 2000 1/2 CLEVERLY AVENUE, SUITE 201
 BENTONVILLE, WA 98004
 PHONE (509) 362-2144

STRUCTURAL ENGINEER
 BLAKE SPESIO, P.E.
 DIVISION OF FACILITY STRUCTURAL ENGINEERING
 204 TROND AVENUE, SUITE 100
 SEATTLE, WA 98102
 PHONE (206) 464-4212

MECHANICAL ENGINEER
 TRAVIS WILHELM
 SUPPLY SPECIALTIES ENGINEERING
 14000 14TH AVE
 BENTON, WA 98004
 PHONE (509) 362-2144

WATER RESOURCES PLANNING
 JILL WINGGREN
 PACIFIC SPOONWATER GROUP
 2070 1/2 1ST AVENUE, SUITE 400
 SEATTLE, WA 98101
 PHONE (206) 464-7888

MECHANICAL PLUMBING
 CRYSTAL HILL
 CRYSTAL HILL ENGINEERS
 1001 2ND AVENUE, SUITE 400
 SEATTLE, WA 98101
 PHONE (206) 464-4177

FIRE PROTECTION ENGINEER
 DAVID GRIMMOND
 CRYSTAL HILL ENGINEERS
 1001 2ND AVENUE, SUITE 400
 SEATTLE, WA 98101
 PHONE (206) 464-4177

ELECTRICAL ENGINEER
 SCOTT KELLY
 DIXON ENGINEERS
 10000 14TH AVE, SUITE 100
 BENTON, WA 98004
 PHONE (509) 362-2144



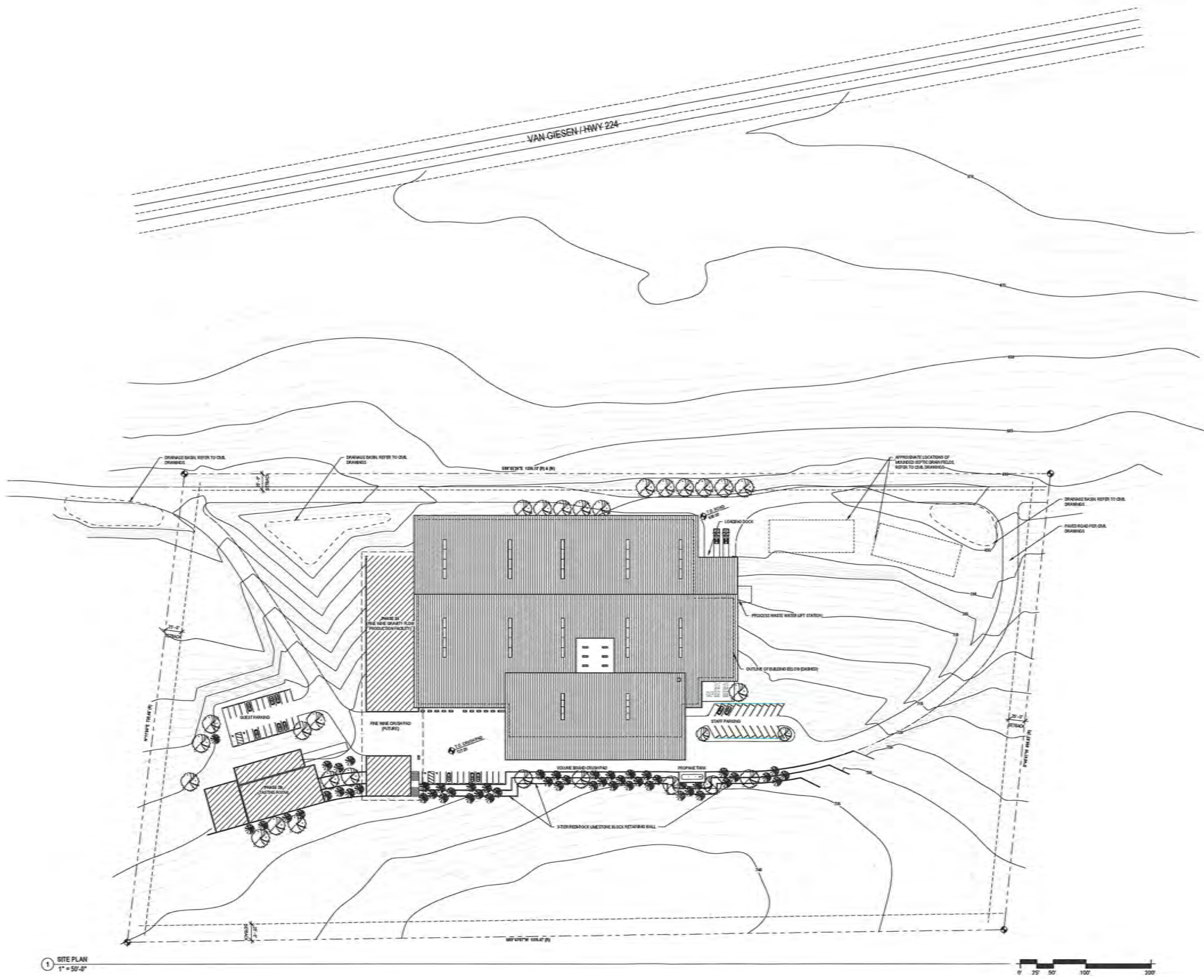
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#	ADD	REVISION	DATE
1.		CONCEPT DESIGN	8/10/2018
2.		PROGRESSIVE DESIGN	8/10/2018
3.		FINAL DESIGN DEVELOPMENT	10/1/2018
4.		PROGRESSIVE DESIGN	11/6/2018
5.		PROGRESSIVE DESIGN	12/1/2018
6.		PROGRESSIVE DESIGN	12/21/2018
7.		CFP SUBMISSION	2/7/2019

DATE
 MARCH 7, 2019

SHEET TITLE
 SITE PLAN

A1-01



1 SITE PLAN
 1" = 50'-0"



PROJECT
AQUILINI WINERY
PHASE 1

SITE ADDRESS
1650 1ST AVENUE NORTH
SUITE 200
SEATTLE, WA 98101

OWNER
AQUILINI WINERY GROUP
1650 1ST AVENUE NORTH
SUITE 200
SEATTLE, WA 98101
PROJECT MANAGER: JANE WELLS (77) 9000
PROJECT MANAGER: SARA GIBSON (94) 17-000

WINE CONSULTANT
STEVE JOHNSON
1650 1ST AVENUE NORTH SUITE 200
SEATTLE, WA 98101
PHONE: (206) 465-1100

CONTRACTOR
DANIEL & MICHELLE
JANE ENGINEERS, INC.
2000 1ST AVENUE NORTH, SUITE 200
SEATTLE, WA 98101
PHONE: (206) 465-1100

STRUCTURAL ENGINEER
BLAKE BRIDGES, P.E.
DESIGNER OF RECORD STRUCTURAL ENGINEERING
10700 1ST AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 465-1100

MECHANICAL ENGINEER
TRAVIS WENZEL
CORPUS ENGINEERS
14000 1ST AVENUE
SEATTLE, WA 98101
PHONE: (206) 465-1100

ELECTRICAL ENGINEER
DAVE BRONKHORST
CORPUS ENGINEERS
14000 1ST AVENUE
SEATTLE, WA 98101
PHONE: (206) 465-1100

WATER RESOURCES PLANNING
JULY VERHAEGE
PACIFIC WATERSHED GROUP
2000 1ST AVENUE NORTH SUITE 200
SEATTLE, WA 98101
PHONE: (206) 465-1100

SOILS & FOUNDATIONS
CORPUS ENGINEERS
14000 1ST AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 465-1100

PIPE PROTECTION ENGINEER
DAVE BRONKHORST
CORPUS ENGINEERS
14000 1ST AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 465-1100

ELECTRICAL ENGINEER
SCOTT KELLY
CORPUS ENGINEERS
14000 1ST AVENUE, SUITE 100
SEATTLE, WA 98101
PHONE: (206) 465-1100

ARCHITECTURAL STAMP



STATEMENTS OF SERVICE

UPWARD ARCHITECTURE & INTERIORS (UPWARD) HAS PROVIDED ARCHITECTURAL SERVICES FOR THE PROJECT AS DESCRIBED IN THE STATEMENTS OF SERVICE. UPWARD'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS DESCRIBED IN THE STATEMENTS OF SERVICE. UPWARD IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. UPWARD'S SERVICES ARE LIMITED TO THE DESIGN AND DOCUMENTATION OF THE PROJECT AS DESCRIBED IN THE STATEMENTS OF SERVICE. UPWARD IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

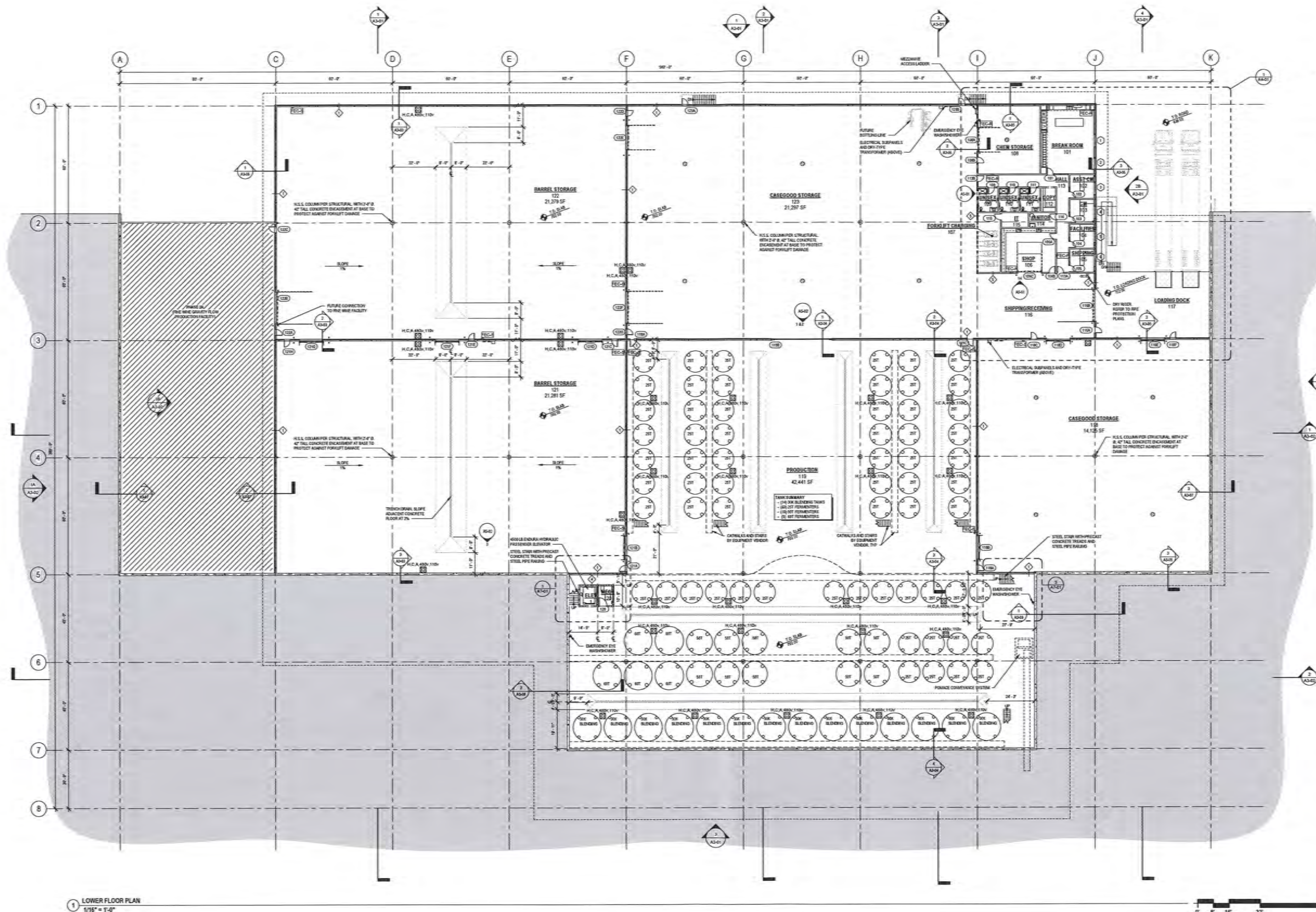
REVISIONS

NO.	DESCRIPTION	DATE
1	CONCEPT DESIGN	8/12/2018
2	PRELIMINARY DESIGN	8/12/2018
3	CONCEPT DEVELOPMENT	8/12/2018
4	PRELIMINARY DESIGN	11/8/2018
5	PRELIMINARY DESIGN	12/1/2018
6	PRELIMINARY DESIGN	12/21/2018
7	CONCEPT DESIGN	3/7/2019

DATE
MARCH 7, 2019

SHEET TITLE
LOWER FLOOR PLAN

A1-02



LOWER FLOOR PLAN
1/16" = 1'-0"

GENERAL PLAN NOTES

- IT IS THE INTENT OF THESE DRAWINGS THAT ALL WORK COMPLY WITH APPLICABLE STATE BUILDING CODES, THE APPLICABLE STATE ENERGY CODE, AND ALL OTHER CODES, RULES, AND REGULATIONS OF APPLICABLE AGENCIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BEING DONE AS SHOWN ON DRAWINGS. ANY CORRECTIONS OR MODIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION OR TO PROCEEDING WITH WORK IN THE QUESTION OR ORDER OF MATERIALS FOR WORK.
- JOB SITE SHALL BE KEPT CLEAN AND SAFE DURING ALL PHASES OF CONSTRUCTION.
- PROTECT BUILDING FROM WATER DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY UTILITIES, NOT SHOWN ON THE DRAWINGS, WHICH MAY INTERFERE WITH THE WORK. WHEN NECESSARY, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. GENERAL CONTRACTOR SHALL VERIFY, TEST, AND DOCUMENT THE SPOREDFUTILITY OF BACK TO SOURCE AND O.P.
- "X" SHALL MEAN ACCURATELY LOCATE REINFORCEMENT IN THE SHEET.
- "TYPICAL" OR "TYP" SHALL MEAN THAT THE CONDITIONS REPRESENTED ARE TYPICAL FOR THE AREA CONCERNED. UNLESS OTHERWISE NOTED, DETAILS ARE USUALLY GIVEN AND NOTED "TYP" ONLY ONCE WHEN THEY REPEAT OCCUR.
- "DUALITY" OR "DUAL" MEANS COMPATIBLE DIMENSIONS FOR THE CONDITIONS NOTED.
- VERIFY DIMENSIONS AND ORIENTATION OF PLANS AND ELEVATIONS.
- NOTIFY ARCHITECT IMMEDIATELY AND LOCKABLE DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER TO ENSURE SECURITY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN OVER DIMENSIONS OF DRAWINGS AND NOTES.
- IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
- COORDINATE AND PROVIDE BACKLOG FOR ALL WORK AND ITEMS ATTACHED BY REFERENCES TO WALLS OR CEILING.
- REFER TO ENLARGED PLANS FOR MATERIALS AND FINISHES.

DETERMINATION OF MITIGATED NONSIGNIFICANCE

Proponent Aquilini Red Mountain Vineyards LP. **File No.** EA 2018-017
89 West Georgia
Vancouver, VC V6B1L8

Description of proposal: There has been proposed to the Benton County Planning Department, an application (File No. EA 2018-017) dated 9/27/18 for the following proposed project to be constructed in phases. The first phase of the project will be the site preparation of the construction site by the grading of 17 acres (85,000+/- CY Cut and 45,000 +/- CY Fill) the second phase, will be the construction of a 170,000-sq. ft. wine processing facility and the third phase, will be a tasting room accessory to the winery. With the construction of the facility the applicant is proposing a project that will also consist of the installation of a driveway with access off SR 224, with possible part time living quarters for the owner when in town. The project is located within the Rural Lands 5 Zoning District.

Location of proposal: The property is located South of SR 224 in Section 15, Township 9 North, Range 27 East, W.M parcel size is approximately 260 contiguous acres and the parent parcel number for the property is 1-1597-200-0002-001. This parcel contains 21.52 acres.

Lead agency: **BENTON COUNTY**

The lead agency for this proposal has determined that it will not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(3), provided that the following measures are taken to mitigate potential adverse impacts. Substantive authority to require mitigation is derived from WAC 197-11-660 and Benton County Code, Chapter 6.35.120. The decision was made after review of a completed environmental checklist, comments received from various agencies and other information on file with the lead agency. This information is available to the public on request.

This MDNS is issued under WAC 197.11-340(2); no additional comments are being requested.

MITIGATION MEASURES:

Prior to moving any earthen materials condition #1 must be met. Conditions 2-10 must be met prior to operating a winery on this parcel, the applicant must complete and comply with the following mitigating conditions for this Mitigated Determination of Non-Significance (MDNS). Proof of compliance with these mitigation measures must be provided to the Planning Department.

- 1.** The Applicant must be in compliance with grade/fill requirements and obtain a grading permit from the Benton County Building Department prior to moving any earthen material.
- 2.** The applicant must submit and be approved for a Conditional Use Permit for a Winery over 3000 sq. ft. Per Benton County Code Ordinance 611, Section 44(j) Uses requiring a Conditional Use Permit. The combination of the total buildings in this facility will exceed the maximum sq. ft. allowed without additional permitting therefore; a Conditional Use Permit must

be approved by the Benton County Hearings Examiner under BCC Ordinance No. 611 Section 44, Conditional Use Permits required, prior to construction. Additional comments received that are not a factor under the SEPA requirements will be noted and addressed within the Conditional Use Permit public hearing process by the Benton County Hearings Examiner.

3. The applicant must meet the requirements submitted by the Washington State Department of Transportation in their letter dated November 1, 2018. Contact **Mark Kaiser WSDOT South Central Region (509) 577-1668.**

4. The applicant must meet the Washington State Department of Ecology requirements noted in their letter dated October 25, 2018 regarding water resources for the proposed use and the potential need for a Winery Wastewater and Erosion Sediment Control Plan. **Contact JoLee Ramos (509) 454-4173, Union Gap Office.**

5. The applicant must meet the Washington State Department of Health Potable Water requirements noted in an email dated October 25, 2018 from Deborah Johnson, Wellhead Protection Specialist for domestic use and wine production. **Mr. Jeff Johnson, DOH, Office of Drinking Water. Eastern Region office, (509) 329-2110.** should be contacted to discuss this project and to clarify what type of public water system is appropriate for this project.

6. The applicant must meet the State of Washington Department of Archaeology & Historic Preservation requirements referenced in their comments submitted on October 24, 2018 stating that because the project site has the potential to contain archaeological resources, they are requesting that the applicant conduct a professional archaeological survey of the project area prior to ground disturbing activities. They have also recommended further consultation with the concerned Tribes' cultural committees and staff regarding cultural resource issues. **Contact Dennis Wardlaw, Transportation Archaeologist (360) 586-3085.**

7. The applicant must comply with the requirements of the Benton Franklin Health District submitted by email on October 16, 2018 regarding septic system requirements and the application for a Public Water Supply and for any possible Food Permits. **Contact Shawn Brown, Environmental Health Specialist II (509) 460-4320.**

8. The applicant must satisfy the mitigation requirements of Benton County Fire District # 4 received October 16, 2018 regarding Required Water Supply for Fire Suppression for Type II-A or Type III-A Construction, Building Height Requirements, mitigation for wildland fires, carbon dioxide limits and mitigated response times. **Contact William (Bill) Whealan Fire Chief, District #4 West Richland, WA. (509) 967-2496.**

9. The applicant must satisfy the requirements of the Benton County Fire Marshal as noted in his email dated October 16, 2018, regarding a lined pond for fire suppression, high piled storage sprinklered areas, smoke/heat vents and draft curtains being required, fire pond pump installation, sprinkler system is to be fully supervised, and approval of the installation of fire hydrants, etc. **Contact Ken Williams, Fire Marshal for further requirements. (509) 735-3500.**

10. Benton County Critical Areas has determined that the project location is next to a Washington State Fish and Wildlife Priority Habitat Area, as defined by Benton County Code,

Chapter 15.14.010(2)(i) Designation of Fish and Wildlife Habitat Conservation Areas "State Priority Habitats". Further study's may be required even though currently the surrounding area is in wine grape crop production. **Contact Greg Wendt, Principal Planner Benton County (509) 786-5612.**

You may appeal this determination to the **Benton County Planning Department** at **Post Office Box 910, Prosser, WA 99350**, no later than **November 26, 2018** by **Written notice**. **The fee for a threshold determination appeal is \$700.00. An appeal of the determination must be made in writing to the Benton County Planning Department and a public hearing will be scheduled and the appellant will be notified of the date, time, and place.** You should be prepared to make specific factual objections. Contact the Planning Department to read or ask about the procedures for SEPA appeals.

Responsible Official: Clark A. Posey
Position/Title: Assistant Planning Manager
Address: P.O. Box 910, Prosser WA 99350

Date: **November 8, 2018**

Signature  _____

DISTRIBUTION:

Applicant
News Media (Encl. map or plot plan)
Benton County Building Office
Department of Natural Resources-Olympia
Department of Natural Resources -
Ellensburg
Benton Clean Air Authority
Bureau of Reclamation
Benton County Public Works
Benton Franklin Dist. Health Department
Kennewick Irrigation District
Department of Transportation
Washington State Department of Health
Department of Ecology - Olympia
Department of Ecology - Yakima
Yakama Indian Nation
Fire District 4
Fire Marshal
Bureau of Land Management
Department of Fish and Wildlife
Office of Archaeology & Historic Preservation
Futurewise
Tom Price-Environmental Review Inc.

RECEIVED

SEP. 28 2018

BENTON COUNTY BUILDING DEPT. RECEIVED

OCT 02 2018

Benton Co. Planning Dept.

EA 2018-017

A. Background

1. Name of proposed project, if applicable: Aquilini Winery

2. Name of applicant: Aquilini Red Mountain Vineyards Limited Partnership

3. Address and phone number of applicant and contact person:
Aquilini Centre, Gate 16 in Rogers Arena Jaime Mallis - (604) 899-5394
700 Pat Quinn Way, Vancouver BC | Canada

4. Date checklist prepared: 9-19-18

5. Agency requesting checklist: Benton County

6. Proposed timing or schedule (including phasing, if applicable):
Phase 1 and 2: Fall 2018 to Fall 2019; Phase 3 2020-2021

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain.
Yes, project will be constructed in phases. Initial phase is to rough grade the site, 2nd phase is to construct wine processing facility, 3rd phase is to build tasting room.

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal.
None

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.
None known

10. List any government approvals or permits that will be needed for your proposal, if known.
Building Permit, Grading Permit, Right of Way Permit, Road Approach Permit, On-Site Sewerage Permit, DOE Winery Permit, Water Right Application, Rock Crushing Approval, Rock Blasting Approval

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)
Construct a wine processing facility located at Red Mountain and SR-224. The overall project area is approximately 18 acres. Building square footages will be approximately 170,000 s.f.

*CAS OK No Critical AREAS discovered on this site
RURAL Lands 5 zoning
USE allowed by Conditional USE Permit 10/5/2018 Clark*

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

Project located off SR-224 and just south of Antinori Road. Tax parcel is
#115972000002001 and #115972000002002. Access to the site will come off
of SR-224. Refer to attached site plan for general site location.

B. Environmental Elements

1. Earth

a. General description of the site:

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other _____

b. What is the steepest slope on the site (approximate percent slope)?

12%

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Well graded sands and gravel along with basalt.

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

None

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

Total area is approximately 17 acres with 85,000+/- CY Cut and 45,000+/- CY Fill

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

Yes, wind and water erosion could occur during clearing and construction.

Erosion control measures will be added during construction.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? Approximately 35%

- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:
A temporary erosion and sediment control system will be installed prior to construction.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Dust during construction and general construction equipment emissions.

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

None known

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Compliance with the clean air authority.

3. Water

- a. Surface Water:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No

- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None

- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground Water:

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose,

Ground water will be withdrawn from a well for domestic use and for process water for the operation of a winery. The volume of water annually will be 11.5-Acre Feet per year (~3,500,000 gallons). The instantaneous quantity is not expected to exceed 100 gallons per minute for process water used for winery operations. The well will be at a depth of approximately 400'-0" and access the Saddle Mountain aquifer. It is our intention to mitigate any small effects to the Yakima river by fully mitigating the consumptive elements of the water use by acquiring mitigation water from a previously banked water right.

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

An on-site domestic septic drainfield will be located on-site for disposal of sewer waste. Process water from the wine facility will be land applied in accordance with DOE Winery Permit to existing agricultural crops.

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater will be collected on-site and retained in surface swales in accordance with the local governing jurisdiction requirements. Runoff will not flow off-site.

2) Could waste materials enter ground or surface waters? If so, generally describe.
Unlikely. Stormwater can contain contaminants that may include small amounts of sediment, oils, and metals.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Facilities to be designed in accordance with the Stormwater Management Manual for Eastern Washington (SMMEW). General parking lot sweeping, and cleaning and maintenance of stormwater facilities

4. Plants

a. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other
- evergreen tree: fir, cedar, pine, other
- shrubs
- grass
- pasture
- crop or grain
- Orchards, vineyards or other permanent crops.
- wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
- water plants: water lily, eelgrass, milfoil, other
- other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

Existing scrub brush and grape vineyards will be removed.

c. List threatened and endangered species known to be on or near the site.

None known

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Low maintenance arid type landscaping

e. List all noxious weeds and invasive species known to be on or near the site.

None known

5. Animals

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other _____

b. List any threatened and endangered species known to be on or near the site.

None known

c. Is the site part of a migration route? If so, explain.

Area is within the Pacific Flyway

d. Proposed measures to preserve or enhance wildlife, if any:

None

e. List any invasive animal species known to be on or near the site.

None known

6. Energy and Natural Resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Electric power for heating, cooling, processing, and lighting.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

In accordance with WA State energy code compliance

7. Environmental Health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

1) Describe any known or possible contamination at the site from present or past uses.

During construction, possible explosions may occur due to rock blasting.

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None known

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

Acids, Sulfers and Cleaning Solutions. Possible rock blasting may require explosive materials to fracture existing basalt.

4) Describe special emergency services that might be required.
Only those typically provided by County services

5) Proposed measures to reduce or control environmental health hazards, if any:
Those that are applicable to County requirements.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?
None

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Typical construction noise during development. Traffic noise from processing and trucking once completed. Noise from rock blasting and/or rock crushing equipment to process on-site excavated basalt rock.

3) Proposed measures to reduce or control noise impacts, if any:
Limit construction hours

8. Land and Shoreline Use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

Existing site and adjacent properties mainly consist of vineyards

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

A small portion of the project site is used for vineyards. Approximately 4 acres will be changed from vineyard to commercial use.

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

None anticipated

c. Describe any structures on the site.

Approximately 170,000 s.f. of buildings will be constructed that will consist of a wine processing facility, maintenance building and tasting facility.

d. Will any structures be demolished? If so, what?

None

e. What is the current zoning classification of the site?

RL-5

f. What is the current comprehensive plan designation of the site?

Rural Remote

g. If applicable, what is the current shoreline master program designation of the site?

NA

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

30

j. Approximately how many people would the completed project displace?

None

k. Proposed measures to avoid or reduce displacement impacts, if any:

None

L. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

None

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

None

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

c. Proposed measures to reduce or control housing impacts, if any:

None

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

Approximately 40-ft

b. What views in the immediate vicinity would be altered or obstructed?

None

c. Proposed measures to reduce or control aesthetic impacts, if any:

None

11. Light and Glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Normal business and commercial lighting in the evenings

b. Could light or glare from the finished project be a safety hazard or interfere with views?

No

c. What existing off-site sources of light or glare may affect your proposal?

None

d. Proposed measures to reduce or control light and glare impacts, if any:

None

12. Recreation

a. What designated and informal recreational opportunities are in the immediate vicinity?
None

b. Would the proposed project displace any existing recreational uses? If so, describe.
No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
None

13. Historic and cultural preservation

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers ? If so, specifically describe.
No

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.
No

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.
None

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.
None

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Private roadway to extend to SR-224

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

No. None

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

Approximately 25 spaces added. None eliminated.

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

No

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

ADT may range between 100 to 300 trips per day with 3% trucks. Please note proposed use is seasonal and will affect trips per day. Also, most wine tasting Monday to Thursday are limited hours with tasting being done by 5 pm.

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No

- h. Proposed measures to reduce or control transportation impacts, if any:

None

15. Public Services

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

Increased need for fire, police, refuse, and other related public services for the new business.

b. Proposed measures to reduce or control direct impacts on public services, if any.

None

16. Utilities

a. Circle utilities currently available at the site:

electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

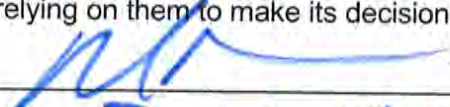
Domestic water (private well), septic system (private), electrical power (Benton PUD), refuse service, telephone

Ground water will be withdrawn from a well for domestic use and for process water for the operation of a winery. The volume of water annually will be 11.5-Acre Feet per year (~3,500,000 gallons). The instantaneous quantity is not expected to exceed 100 gallons per minute for process water used for winery operations. The well will be at a depth of approximately 400'-0" and access the Saddle Mountain aquifer. It is our intention to mitigate any small effects to the Yakima river by fully mitigating the consumptive elements of the water use by acquiring mitigation water from a previously banked water right.

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: _____



Name of signer _____

Darrell Moore

Position and Agency/Organization _____

Project Engineer - JUB ENGINEERS, INC.

Date Submitted: _____

9-27-18

EA 2018-017

AQUILINI WINERY RED MOUNTAIN AVA BENTON COUNTY, WASHINGTON

RECEIVED
OCT 02 2018
Benton Co. Planning Dept.

JUB
J-U-B ENGINEERS, INC.
J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
www.jub.com

SEPTEMBER 2018

BIDDING NOTES

1. BY THE ACT OF SUBMITTING A BID THE CONTRACTOR SHALL BE DEEMED TO HAVE EXAMINED AND REVIEWED THE SITE, AND ALL REFERENCED REPORTS AND INVESTIGATIONS FOR THIS SITE, AND THE COMPLETE SET OF CONTRACT DOCUMENTS, AND TO HAVE ACCEPTED EXISTING CONDITIONS AND INCLUDED ALLOWANCES FOR THEM IN THE BID. ANY CONTRADICTIONS, DISCREPANCIES OR DESIGN WORK WHICH DOES NOT MEET CODE OR WILL NOT FUNCTION AS INTENDED SHALL BE REPORTED TO THE OWNER IN WRITING PRIOR TO THE BID. IF CONTRACTOR DOES NOT REPORT ANY DISCREPANCIES THEN CONTRACTOR WILL BE HELD RESPONSIBLE FOR COMPLETE SITE WORK IMPROVEMENTS AND MAKE ANY REQUIRED CHANGES AT NO ADDITIONAL COST.



VICINITY MAP

BASIS OF BEARINGS

BASIS OF BEARING IS A RECORD SURVEY AS SHOWN IN VOLUME 1, PAGE 4444, RECORDS OF BENTON COUNTY, WASHINGTON. TO CONVERT TO WASHINGTON STATE PLANE SOUTH ZONE ROTATE 0°46'01" COUNTER-CLOCKWISE.

VERTICAL DATUM

VERTICAL DATUM IS NAVD '88 BASED ON OPUS SESSION AND CHECK TO BENCHMARK J 322 (NGS PID SA1006)

PROJECT NO. 30-18-043



J-U-B ENGINEERS, INC.

2810 West Clearwater Avenue, Suite 201, Kennewick, WA 99336
p 509 783 2144 f 509 736 0790 w www.jub.com

OTHER J-U-B COMPANIES THE LANGDON GROUP GATEWAY MAPPING INC.



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

UTILITY NOTE:
ABOVE GROUND AND UNDERGROUND UTILITIES ARE SHOWN PER OBSERVED EVIDENCE AND RECORD INFORMATION AND MAY NOT REPRESENT ALL SUCH UTILITIES EXISTING ON SITE. LOCATIONS AND SIZES ARE APPROXIMATE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES. PRIOR TO ANY EXCAVATION OR DIGGING, CONTACT THE UTILITY NOTIFICATION CENTER FOR ON-SITE LOCATIONS. (800-424-5555) (811) (WA State)

PRELIMINARY PLANS	NOT FOR CONSTRUCTION
<small>REVISIONS</small> THIS DOCUMENT, AND THE DEAS AND DESIGN INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF J-U-B ENGINEERS, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF J-U-B ENGINEERS, INC.	
NO.	DESCRIPTION
BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA

COVER SHEET

FILE: 30-18-043_C-001
JUB PROJ #: 30-18-013
DRAWN BY: JSC
DESIGN BY: MAM
CHECKED BY: DSM
SCALE: 1" = 100'
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
LAST UPDATED: 9/24/2018
SHEET NUMBER:
C-001

SITE CLEARING, EARTHWORK AND STORM DRAINAGE NOTES

- ALL SPOT ELEVATIONS SHOWN ON THE PLAN ARE TO TOP OF FINISH PAVEMENT SURFACE UNLESS OTHERWISE NOTED.
- PRIOR TO THE START OF GRADING, ALL EXISTING ORIGINAL MATERIAL, DEBRIS, RUBBLE, ASPHALT PAVEMENT, ETC., SHALL BE REMOVED FROM THE SITE TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
- IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, THEY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND/OR EXPORTING ALL MATERIAL AS REQUIRED TO PROPERLY GRADE THIS SITE TO THE FINISHED ELEVATIONS SHOWN HEREON IN ACCORDANCE WITH THE APPROVED PLANS AND THE GEOTECHNICAL REPORT RECOMMENDATIONS.
- ALL HANDICAP PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
- PONDING OR "BIRDBATHS" EXCEEDING ONE-QUARTER INCH IN DEPTH SHALL NOT BE ACCEPTABLE AND SHALL BE CORRECTED BY THE CONTRACTOR.
- ALL STORM DRAINAGE PIPE SHALL BE ASTM D-3034 SDR35 PVC PIPE, CORRUGATED HDPE SMOOTH WALL INTERIOR PIPE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
- EARTHWORK AND GRADING SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS AND PERMIT REQUIREMENTS.
- CONTRACTOR SHALL ADHERE TO ALL OF THE GEOTECHNICAL RECOMMENDATIONS AS NOTED IN THE GEOTECHNICAL REPORT. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN A COPY OF THE REPORT.
- ALL FILL SHALL BE TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
- ALL FILL MATERIAL SHALL BE PLACED IN LIFTS AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL SIDEWALKS SHALL NOT EXCEED 1.5% CROSS SLOPE.
- ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.
- ALL UTILITY STUBS SHALL BE CAPPED AND MARKED WITH WOOD OR METAL POST WITH INVERT ELEVATION, SIZE AND TYPE OF UTILITY NOTED ON POST.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OFF-SITE CLEANUP OF ANY DISCHARGE OF CONSTRUCTION RELATED STORMWATER AND SILT LADEN MATERIAL.
- CONTRACTOR SHALL COMPLY WITH WAC 173-040 GENERAL STANDARDS FOR MAXIMUM EMISSIONS AS REQUIRED BY BENTON CLEAN AIR AUTHORITY.
- ALL DISTURBED AREAS SHALL BE STABILIZED BY HYDROSEEDING WITH A DRYLAND SEED MIX. ALL HYDROSEEDING SHALL BE TIED DOWN USING AN ORGANIC OR APPROVED EQUAL TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH VEGETATION ON ALL DISTURBED AREAS. TACKIFIER SHALL BE IN ACCORDANCE WITH WSDOT STD SPEC 9-14.4(7).
- THE CONTRACTOR SHALL SUPPLY A DUST CONTROL PLAN PRIOR TO STARTING WORK IN ACCORDANCE WITH THE BENTON COUNTY CLEAN AIR AUTHORITY.
- SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL SOIL LAYER SHALL BE UNIFORMLY MOISTENED BEFORE COMPACTION TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- DO NOT PLACE BACKFILL OR FILL SOIL MATERIAL ON SURFACES THAT ARE MUDDY, FROZEN OR CONTAIN ICE OR FROST.
- REMOVE AND REPLACE, SCARIFY AND AIR DRY OTHERWISE SATISFACTORY SOIL MATERIAL THAT EXCEEDS OPTIMUM MOISTURE CONTENT BY 2% AND IS TOO WET TO COMPACT TO SPECIFIED DRY UNIT WEIGHT.
- ALL FILL MATERIAL PLACED ABOVE THE EXISTING GROUND SURFACE SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAX. DRY DENSITY PER ASTM D1557.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION WATER FOR DUST CONTROL AND FOR COMPACTION EFFORTS.
- ROCK EXCAVATION IS ANTICIPATED FOR THIS PROJECT. THE CONTRACTOR SHALL PROVIDE ROCK EXCAVATIONS TO THE DESIGN GRADES NOTED ON THE DESIGN DOCUMENTS.
- ROCK BLASTING SHALL BE APPROVED BY THE LOCAL GOVERNING JURISDICTION. THE CONTRACTOR SHALL APPLY FOR ALL NECESSARY PERMITS TO INCLUDE A BLASTING PLAN TO BENTON COUNTY FOR APPROVAL. NO ROCK BLASTING UNLESS APPROVED BY BENTON COUNTY.
- CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER TO DETERMINE SLOPE STABILITY FOR THE ROCK EXCAVATED AREAS.
- CONTRACTOR SHALL PROVIDE A TEMPORARY BARRIER AT THE TOP OF SLOPE EMBANKMENTS THAT EXCEED 2.5:1 SLOPE AND 4-FT IN HEIGHT.
- ALL EXCESS MATERIALS (SOILS, ROCKS, UNSUITABLE MATERIALS, WASTE, TRASH, DEBRIS, ETC...) SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF THEM OF THE OWNER'S PROPERTY.
- CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NOTED IN THE GEOTECHNICAL ENGINEERS REPORT.
- CONTRACTOR SHALL LOCATE AND IDENTIFY ALL EXISTING UTILITIES PRIOR TO STARTING WORK. ALL EXISTING UTILITIES SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL PROVIDE ALL SHORING AND TRENCH SAFETY SYSTEMS IN ACCORDANCE WITH SECTION 7-08.2(1)B OF THE WSDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR REMOVAL OF THE EXISTING VINEYARD AND ASSOCIATED IRRIGATION SYSTEMS. CONTRACTOR SHALL CUT/CAP EXISTING IRRIGATION SYSTEM AS NECESSARY.

GENERAL NOTES

- ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT LOCATIONS PROVIDED BY THE CONTRACTOR. DISPOSAL SITES SHALL BE IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- SITE CONTRACTOR WILL HAVE TO COORDINATE AND SHARE CONSTRUCTION LIMITS WITH BUILDING CONTRACTOR. BUILDING CONTRACTOR MAY BE ON-SITE AT SAME TIME AS SITE CONTRACTOR.
- AT COMPLETION OF PROJECT, CONTRACTOR SHALL NOTIFY OWNER AND/OR OWNER'S REPRESENTATIVE FOR FINAL PUNCH LIST WALK THROUGH. FINAL PUNCH LIST ITEMS SHALL BE COMPLETED NO LATER THAN 3 WEEKS AFTER FINAL PUNCH LIST WALK THROUGH.
- PRIOR TO FINAL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL CLEAN ALL UNDERGROUND STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, CATCH BASINS, SEWER PIPE AND STORM DRAINAGE. UNDERGROUND STRUCTURES SHALL BE CLEANED TO REMOVE ALL DEBRIS AND/OR SEDIMENT.
- PRIOR TO FINAL PROJECT ACCEPTANCE, THE CONTRACTOR SHALL POWER SWEEP THE PARKING LOT TO REMOVE ALL DEBRIS, SEDIMENT, STAINS, SPILLS AND OTHER FOREIGN DEPOSITS.
- CONTRACTOR SHALL USE "REQUEST FOR INFORMATION" PROCEDURE FOR REQUESTING INFORMATION. RFI SHALL BE SUBMITTED TO THE OWNER AND/OR OWNER'S REPRESENTATIVE. NO PLAN CHANGES AND/OR CHANGE ORDERS WILL BE ACCEPTED UNLESS THEY ARE CLEARLY DOCUMENTED.
- CONTRACTOR SHALL SUBMIT SUBMITTALS AND SHOP DRAWINGS TO OWNER AND/OR OWNER'S REPRESENTATIVE FOR APPROVAL OF ALL MATERIALS PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE ADEQUATE TIME TO ALLOW FOR REVIEW/APPROVAL OF SUBMITTALS AND SHOP DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL MEANS, METHODS, LABOR AND MATERIALS NECESSARY TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING FOR VERTICAL AND HORIZONTAL CONTROL. ALL CONSTRUCTION STAKING SHALL BE COMPLETED UNDER THE SUPERVISION OF A P.L.S. LICENSED IN THE STATE OF WASHINGTON.
- WHERE SPECIFICATIONS CONFLICT, THE STRICTER SHALL OVERRULE.
- THE CONTRACTOR SHALL COMPLY WITH THE FINDINGS AND RECOMMENDATIONS OF THE GEOTECHNICAL EVALUATION REPORT.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LICENSED BY THE STATE OF WASHINGTON AND BONDED TO DO WORK IN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL HAVE A CURRENT BUSINESS LICENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL CONSTRUCTION DEFICIENCIES FOR A PERIOD OF 1-YEAR FROM THE DATE OF ACCEPTANCE BY THE CITY AND THE OWNER.
- THE CONTRACTOR SHALL BE REQUIRED TO CALL 811 A MINIMUM OF TWO WORKING DAYS PRIOR TO COMMENCING ANY EXCAVATION ACTIVITIES TO DETERMINE FIELD LOCATIONS OF ALL UNDERGROUND UTILITIES.
- NO WORK ON THIS PROJECT SHALL COMMENCE UNTIL PERMITS ARE ISSUED BY THE COUNTY.

TESTING

- CONTRACTOR SHALL PROVIDE MATERIAL TESTING BY A CERTIFIED TESTING LABORATORY. MATERIAL TEST REPORTS SHALL INCLUDE CLASSIFICATION IN ACCORDANCE WITH ASTM D2487 OF EACH SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL AND LABORATORY COMPACTION CURVE ACCORDING TO ASTM D1557 FOR EACH SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.
- CONTRACTOR SHALL ADHERE TO THE TESTING AND INSPECTION REQUIREMENTS AS NOTED IN THE PERMIT.
- COMPACTION TESTS SHALL BE PERFORMED FOR EVERY 100 LINEAL FEET OF UTILITY TRENCHING AT INITIAL 2- FEET OF BACKFILL AND AT FINAL GRADE. A COPY OF THE COMPACTION TESTS SHALL BE PROVIDED TO THE OWNER AND/OR THE OWNER'S REPRESENTATIVE AND THE CITY INSPECTOR.
- CONTRACTOR SHALL PROVIDE COMPACTION TESTING IN ACCORDANCE WITH ASTM D 1557, D2167, D2922 AND D 3017. FREQUENCY OF TESTING SHALL BE AS FOLLOWS:
 - ONE (1) TEST PER 2,500 S.F. OF AREA PER CONSTRUCTED LIFT
 - TESTS SHALL BE EVENLY SPACED WITH A MINIMUM OF 2 TESTS LOCATED WITHIN 3-FT OF EDGE OF ANY EMBANKMENT
- WHEN COMPACTION TEST FAILS, CONTRACTOR SHALL REMOVE WORK, REPLACE AND RETEST AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE COMPACTION TESTING REQUIREMENTS.

LINE LEGEND

LINE DESCRIPTION	PROPOSED LINE	EXISTING LINE
OVERHEAD POWER	— OHP —	--- OHP ---
UNDERGROUND POWER	— UP —	--- UF ---
OVERHEAD TELEPHONE	— OHT —	--- OHT ---
UNDERGROUND TELEPHONE	— UT —	--- UT ---
NATURAL GAS	— G —	--- G ---
STORM DRAIN	— SD —	--- SD ---
ROOF DRAIN	— RD —	--- RD ---
SANITARY SEWER	— SS —	--- SS ---
WATER	— W —	--- W ---
ABANDONED WATER PIPE	— X —	--- X ---
IRRIGATION	— IRR —	--- IRR ---
PROPERTY LINE	— P/L —	--- P/L ---
RIGHT OF WAY	— R/W —	--- R/W ---
PERMANENT EASEMENT	— P/E —	--- P/E ---
FENCE	— X —	--- X ---
ROAD CENTERLINE	— —	--- — ---
ROAD ASPHALT	— EP —	--- EP ---
ROAD GRAVEL	— EG —	--- EG ---
CONCRETE CONTROL JOINT	— CJ —	--- CJ ---

LEGEND

SYMBOL DESCRIPTION	EXISTING SYMBOL & BLOCK NAME	PROPOSED SYMBOL & BLOCK NAME	SYMBOL DESCRIPTION	EXISTING SYMBOL & BLOCK NAME	PROPOSED SYMBOL & BLOCK NAME
BOLLARD	■	■	VAULT	Ⓜ	Ⓜ
FLAGPOLE	⊕	⊕	FIRE HYDRANT	Ⓜ	Ⓜ
MAIL BOX	Ⓜ	Ⓜ	WATER METER	Ⓜ	Ⓜ
SIGN	+	+	IRRIGATION VALVE BOX	Ⓜ	Ⓜ
TREE (SHRUB)	⊙	⊙	CLEANOUT	Ⓜ	Ⓜ
TREE (CONIFEROUS)	⊙	⊙	CATCH BASIN	Ⓜ	Ⓜ
TREE (DECIDUOUS)	⊙	⊙	ELEC. TRANS.	Ⓜ	Ⓜ
TELE. PEDESTAL	Ⓜ	Ⓜ	POWER POLE	Ⓜ	Ⓜ
GUY WIRE	↓	↓	STREET LIGHT	Ⓜ	Ⓜ
MANHOLE	○	●	CAP	Ⓜ	Ⓜ
VALVE	⊗	⊗			



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
www.jub.com

PRELIMINARY PLANS

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NO.	REVISION	DATE

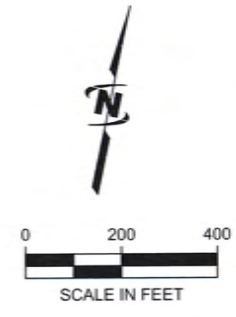
AQUILINI WINERY
RED MOUNTAIN AVA

GENERAL NOTES AND LEGEND

FILE: 30-19-048-C-002
JOB PROJ #: 30-19-013
DRAWN BY: JCC
DESIGN BY: MAM
CHECKED BY: DSM
DATE: 09/27/2018
AT FULL SIZE, IF NOT ONE INCH SCALE ACCORDINGLY
LAST UPDATED: 9/27/2018

SHEET NUMBER:

C-002



JUB
 J-U-B ENGINEERS, INC.
 J-U-B ENGINEERS, INC.
 2810 W. Clearwater Ave.
 Suite 201
 Kennewick, WA 99336
 Phone: 509.783.2144
 Fax: 509.736.0790
 www.jub.com

PRELIMINARY PLANS
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NO.	DESCRIPTION	BY	APPR.	DATE

AQUILINI WINERY
RED MOUNTAIN AVA
OVERALL PROJECT AREA

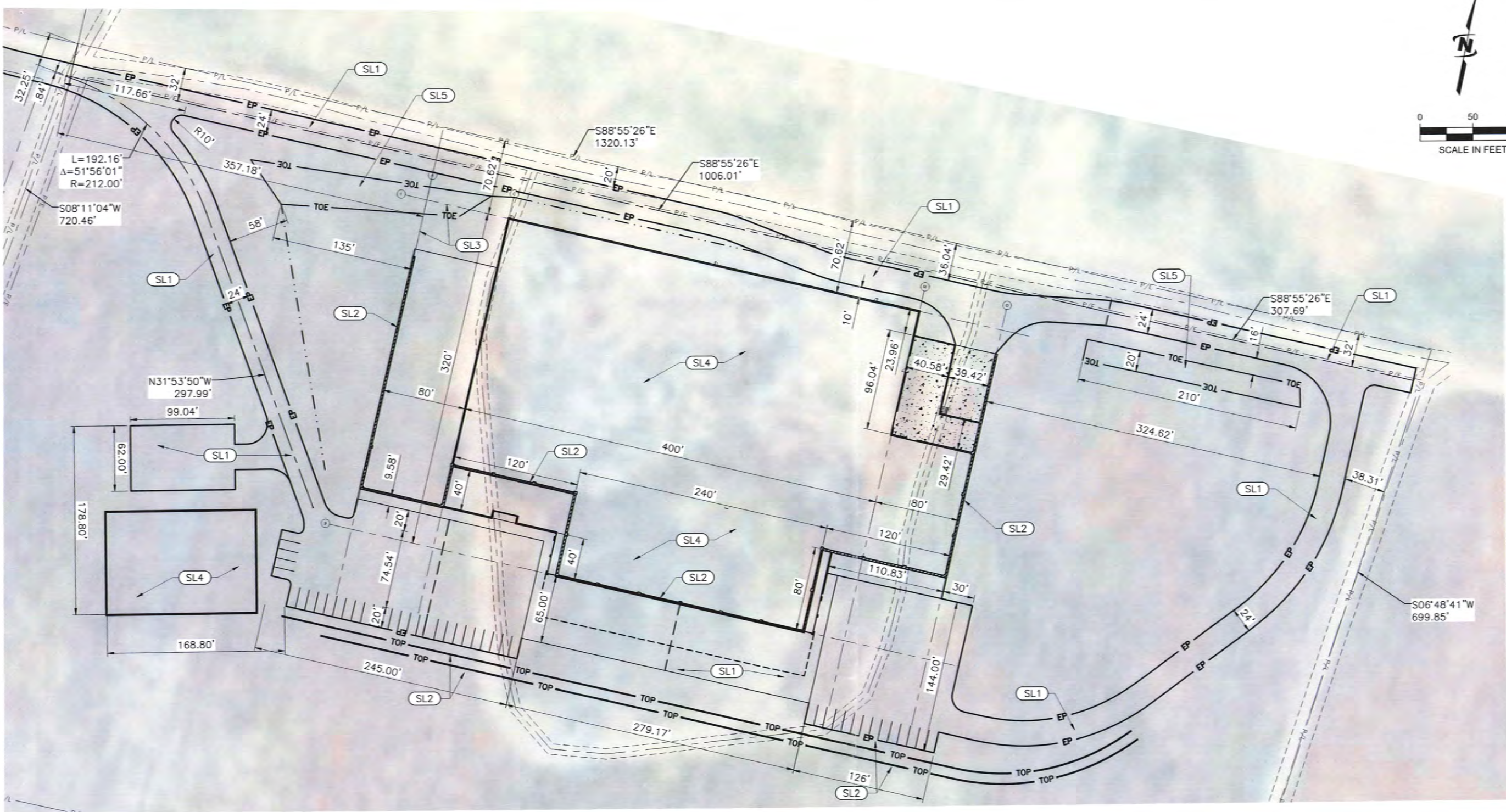
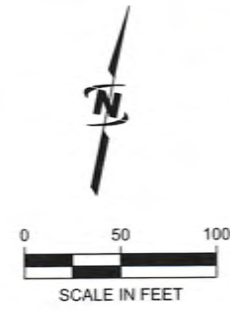
FILE: 30-18-043_C-100
 JUB PROJ #: 30-16-055
 DRAWN BY: JGC
 DESIGN BY: MAM
 CHECKED BY: DSM
 ONE INCH
 AT FULL SIZE IF NOT ONE INCH SCALE ACCORDINGLY
 LAST UPDATED: 8/27/2016

SHEET NUMBER:
C-100

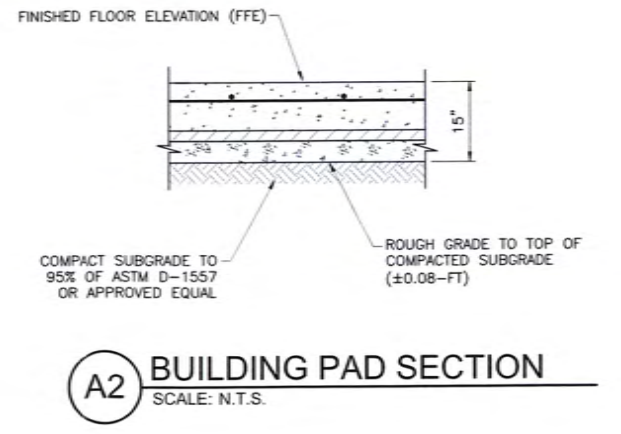
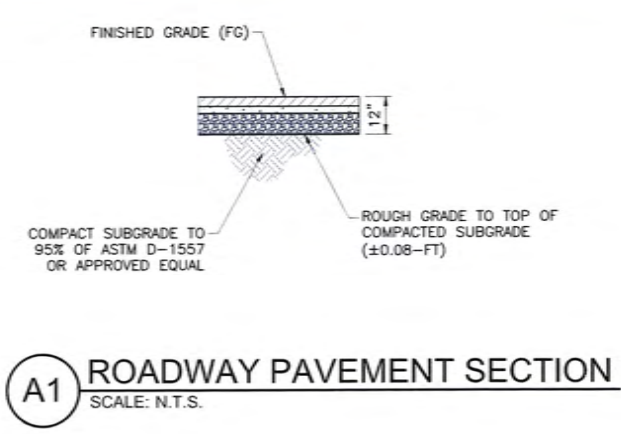
NO.	REVISION	DESCRIPTION	BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA
SITE LAYOUT ALIGNMENT

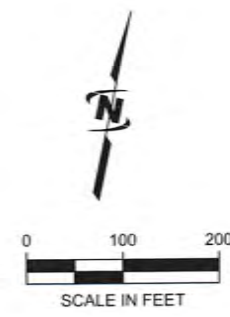
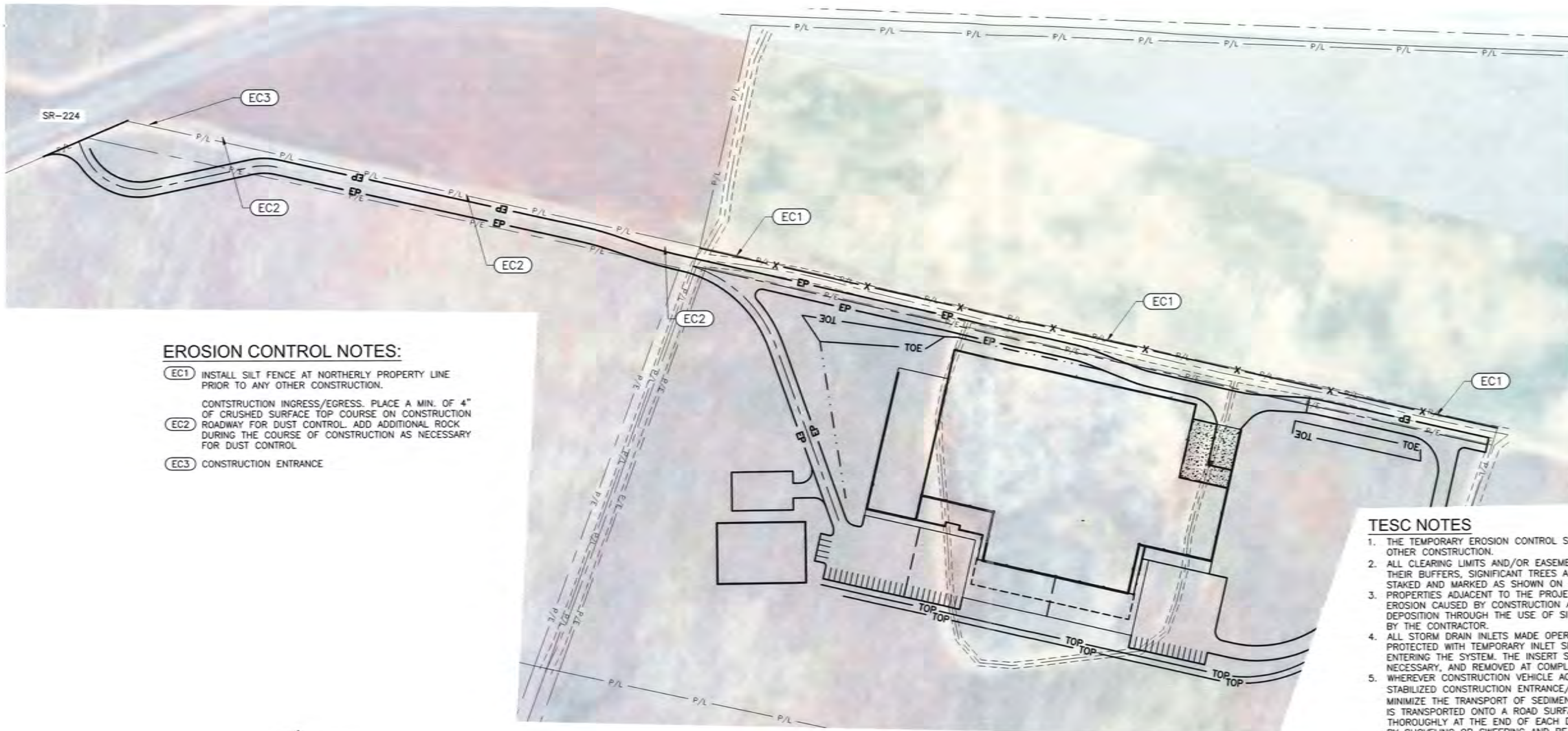
FILE: 30-18-043_C-101
JUB PROJ # 30-16-055
DRAWN BY: JGC
DESIGN BY: MAM
CHECKED BY: DSM
SCALE: ONE INCH = 10 FEET
AT FULL SIZE IF NOT ONE INCH SCALE ACCORDINGLY
LAST UPDATED: 9-27-2016
SHEET NUMBER: C-101



- KEYED NOTES:**
- (SL1) PAVED ACCESS ROAD (A1)
 - (SL2) RETAINING WALL. REFER TO STRUCTURAL PLANS FOR ADDITIONAL DESIGN INFORMATION. SEE SHEET C-201 FOR GRADING INFORMATION.
 - (SL3) BLDG GRID LINE A/1
 - (SL4) BUILDING SLAB (A2)
 - (SL5) DRAINAGE BASIN. SEE SHEET C-201 FOR GRADING INFORMATION.



CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

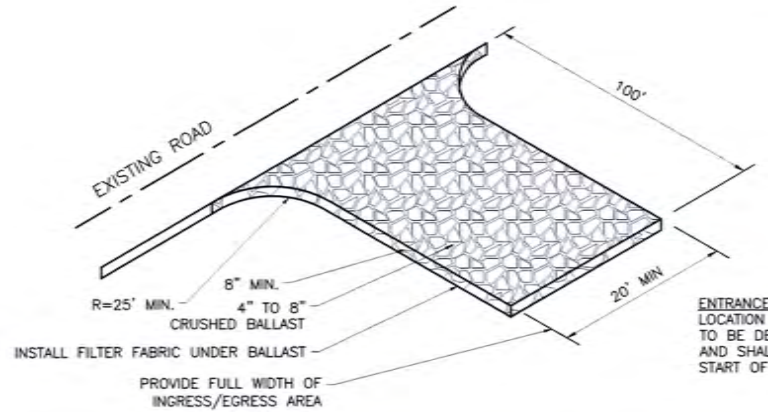


EROSION CONTROL NOTES:

- EC1 INSTALL SILT FENCE AT NORTHERLY PROPERTY LINE PRIOR TO ANY OTHER CONSTRUCTION.
- CONSTRUCTION INGRESS/EGRESS. PLACE A MIN. OF 4" OF CRUSHED SURFACE TOP COURSE ON CONSTRUCTION ROADWAY FOR DUST CONTROL. ADD ADDITIONAL ROCK DURING THE COURSE OF CONSTRUCTION AS NECESSARY FOR DUST CONTROL.
- EC2
- EC3 CONSTRUCTION ENTRANCE

TESC NOTES

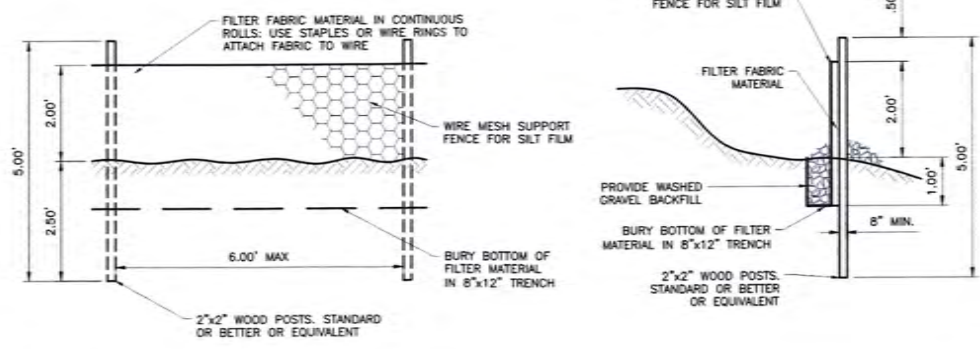
1. THE TEMPORARY EROSION CONTROL SYSTEM SHALL BE INSTALLED PRIOR TO ALL OTHER CONSTRUCTION.
2. ALL CLEARING LIMITS AND/OR EASEMENTS SETBACKS, SENSITIVE/CRITICAL AREAS AND THEIR BUFFERS, SIGNIFICANT TREES AND DRAINAGE COURSES SHALL BE CLEARLY STAKED AND MARKED AS SHOWN ON PLANS.
3. PROPERTIES ADJACENT TO THE PROJECT SITE THAT ARE SUBJECT TO POTENTIAL EROSION CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION THROUGH THE USE OF SILT FENCE, WATTLES, OR OTHER BMP SELECTED BY THE CONTRACTOR.
4. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED WITH TEMPORARY INLET SEDIMENT CONTROL TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM. THE INSERT SHALL BE INSPECTED REGULARLY, CLEANED WHEN NECESSARY, AND REMOVED AT COMPLETION OF CONSTRUCTION.
5. WHEREVER CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED ROADS, A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED (SEE DETAIL) TO MINIMIZE THE TRANSPORT OF SEDIMENT (MUD) ONTO THE PAVED ROAD. IF SEDIMENT IS TRANSPORTED ONTO A ROAD SURFACE, THE ROADS SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. A MINIMUM OF ONE (1) ON-SITE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
6. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
7. ALL POLLUTANTS OTHER THAN SEDIMENT THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER OR THE SITE.
8. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED, AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED USE.
9. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ADDITIONAL EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO SILT FENCING, SEDIMENT PONDS/TRAPS, DIVERSIONS SWALES, CHECK DAMS, SEDIMENT BARRIERS, FILTER FABRIC, MULCH, AND SEEDING, AS CONDITIONS REQUIRE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE CONTRACTOR AND/OR OWNER CAN RESULT IN A FINE.
11. AT NO TIME SHALL CONCRETE, CONCRETE BY-PRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
12. AT ALL TIMES OF THE YEAR, THE CONTRACTOR SHALL HAVE SUFFICIENT MATERIALS, EQUIPMENT AND LABOR ON-SITE TO STABILIZE AND PREVENT EROSION FROM ALL DENUDEED AREAS WITHIN 12-HOURS AS SITE AND WEATHER CONDITIONS DICTATE. CONTRACTOR SHALL PROVIDE DUST CONTROL, AS NECESSARY, TO BE COMPLIANT WITH ALL LOCAL AND STATE CLEAN AIR/DUST CONTROL POLICIES. THE SPRAYING OF WATER ON DRY AREAS SHALL BE USED TO CONTROL DUST. CONTRACTOR SHALL SUPPLY ALL THE NECESSARY WATER FOR DUST CONTROL.
13. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ALL ADJACENT PROPERTIES TO THEIR ORIGINAL CONDITION DUE TO ANY CONSTRUCTION RELATED ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
14. NONCOMPLIANCE WITH EROSION CONTROL REQUIREMENTS, WATER QUALITY REQUIREMENTS AND CLEARING LIMITS VIOLATIONS MAY RESULT IN REVOCATION OF PROJECT PERMITS AND PLAN APPROVAL AND BOND FORECLOSURES.
15. PRIOR TO ANY SITE CONSTRUCTION, INCLUDING CLEARING, LOGGING OR GRADING, THE SITE CLEARING LIMITS SHALL BE LOCATED AND FIELD IDENTIFIED BY THE PROJECT SURVEYOR (OR PROJECT ENGINEER) AS REQUIRED BY THESE PLANS.
16. ALL SITE WORK MUST BE PERFORMED IN ACCORDANCE WITH CURRENT CITY ADOPTED INTERNATIONAL BUILDING CODE.
17. STOCKPILES ARE TO BE LOCATED IN SAFE AREAS AND ADEQUATELY PROTECTED BY TEMPORARY SEEDING AND MULCHING. HYDROSEEDING IS PREFERRED.
18. ALL DISTURBED AREAS SHALL BE HYDROSEEDING WITH A DRYLAND GRASS SEED MIX WITH TACKIFIER. CONTRACTOR SHALL BE RESPONSIBLE TO RE-ESTABLISH VEGETATION ON ALL DISTURBED AREAS. CONTRACTOR SHALL PROVIDE TEMPORARY WATER AS NECESSARY TO PROVIDE SEED GERMINATION. TACKIFIER SHALL BE IN ACCORDANCE WITH WSDOT STD SPECIFICATION 9-14.4(7).



ENTRANCE NOTE
LOCATION OF CONSTRUCTION ENTRANCE TO BE DETERMINED BY CONTRACTOR AND SHALL BE INSTALLED BEFORE START OF CONSTRUCTION.

1. THE TEMPORARY CONSTRUCTION ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL. ANY DRAINAGE FACILITIES REQUIRED BECAUSE OF WASHING SHOULD BE CONSTRUCTED ACCORDING TO NOTE #4 IN THIS PLAN. IF WASH RACKS ARE USED, THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
2. GRAVEL SHALL BE CRUSHED BALLAST ROCK, 8" TO 12" IN DEPTH AND INSTALLED TO THE SPECIFIED DIMENSIONS AT THE ENTRANCE.
3. THE GRAVEL BALLAST ROCK SHALL BE 4" TO 8" IN DIAMETER AND PLACED ACROSS THE FULL WIDTH OF VEHICULAR INGRESS AND EGRESS AREA. THE LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50 FEET.
4. IF CONDITIONS ON THE SITE ARE SUCH THAT MOST OF THE MUD IS NOT REMOVED FROM VEHICLE TIRES BY CONTACT WITH GRAVEL, THEN THE TIRES MUST BE WASHED BEFORE VEHICLES ENTER ONTO A PUBLIC ROAD. WASH WATER MUST BE CARRIED AWAY FROM ENTRANCE TO A SETTLING AREA TO REMOVE SEDIMENT. A WASH RACK MAY ALSO BE USED TO MAKE WASHING MORE CONVENIENT AND EFFECTIVE.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE, AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAY OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

1 CONSTRUCTION ENTRANCE
SCALE: N.T.S.



2 SILT FENCE
SCALE: N.T.S.

JUB
J-U-B ENGINEERS, INC.
J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
www.jub.com

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

NO.	REVISION	DESCRIPTION	BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA
TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

FILE: 30-18-045-C-102
JUB PROJ # 30-18-055
DRAWN BY: JGC
DESIGN BY: MAM
CHECKED BY: DSM
ONE INCH AT FULL SIZE IF NOT ONE INCH SCALE ACCORDINGLY LAST UPDATED: 9-27-2018

SHEET NUMBER:
C-102



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
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PRELIMINARY
PLANS

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CONSTRUCTION

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NO.	REVISION	DESCRIPTION	BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA

ROUGH GRADING PLAN

FILE: 30-18-043-C-200
 JUB PROJ # 30-18-055
 DRAWN BY: JGC
 DESIGN BY: MAM
 CHECKED BY: DSM

ONE INCH
 AT FULL SIZE, IF NOT ONE
 INCH, SCALE ACCORDINGLY
 LAST UPDATED: 9/27/2018

SHEET NUMBER:
C-201

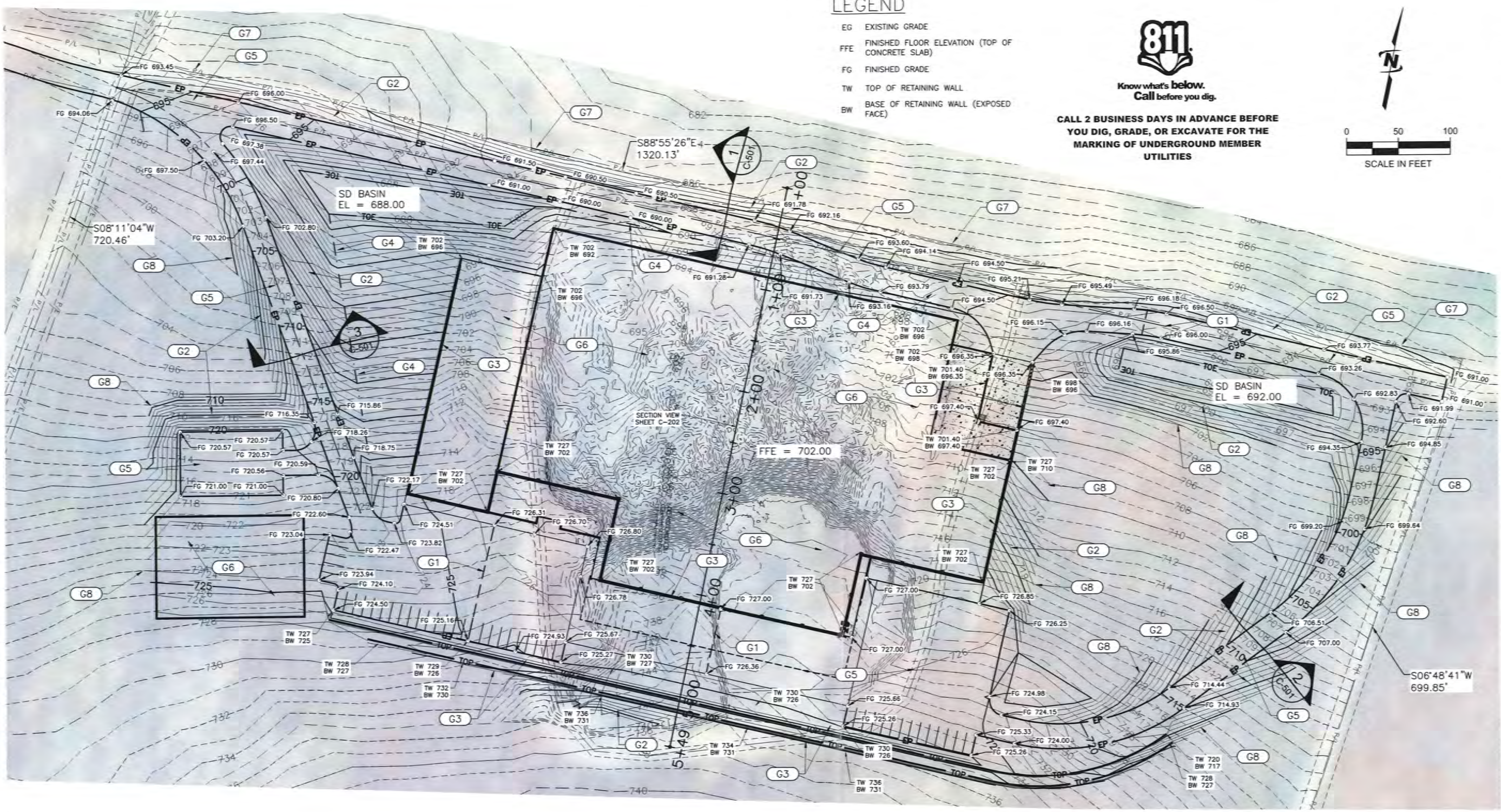
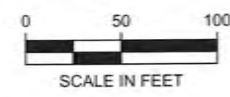
LEGEND

- EG EXISTING GRADE
- FFE FINISHED FLOOR ELEVATION (TOP OF CONCRETE SLAB)
- FG FINISHED GRADE
- TW TOP OF RETAINING WALL
- BW BASE OF RETAINING WALL (EXPOSED FACE)



Know what's below.
Call before you dig.

CALL 2 BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE, OR EXCAVATE FOR THE
MARKING OF UNDERGROUND MEMBER
UTILITIES



KEYED NOTES:

- G1 GRADE BREAK
- G2 3:1 MAX. SLOPE
- G3 RETAINING WALL REFER TO STRUCTURAL PLANS BY OTHERS FOR WALL DETAILS.
- G4 DRAINAGE SWALE
- G5 PAVED ROADWAY
- G6 BUILDING SLAB
- G7 MATCH TO EXISTING AT PROPERTY LINE
- G8 MATCH TO EXISTING GRADE

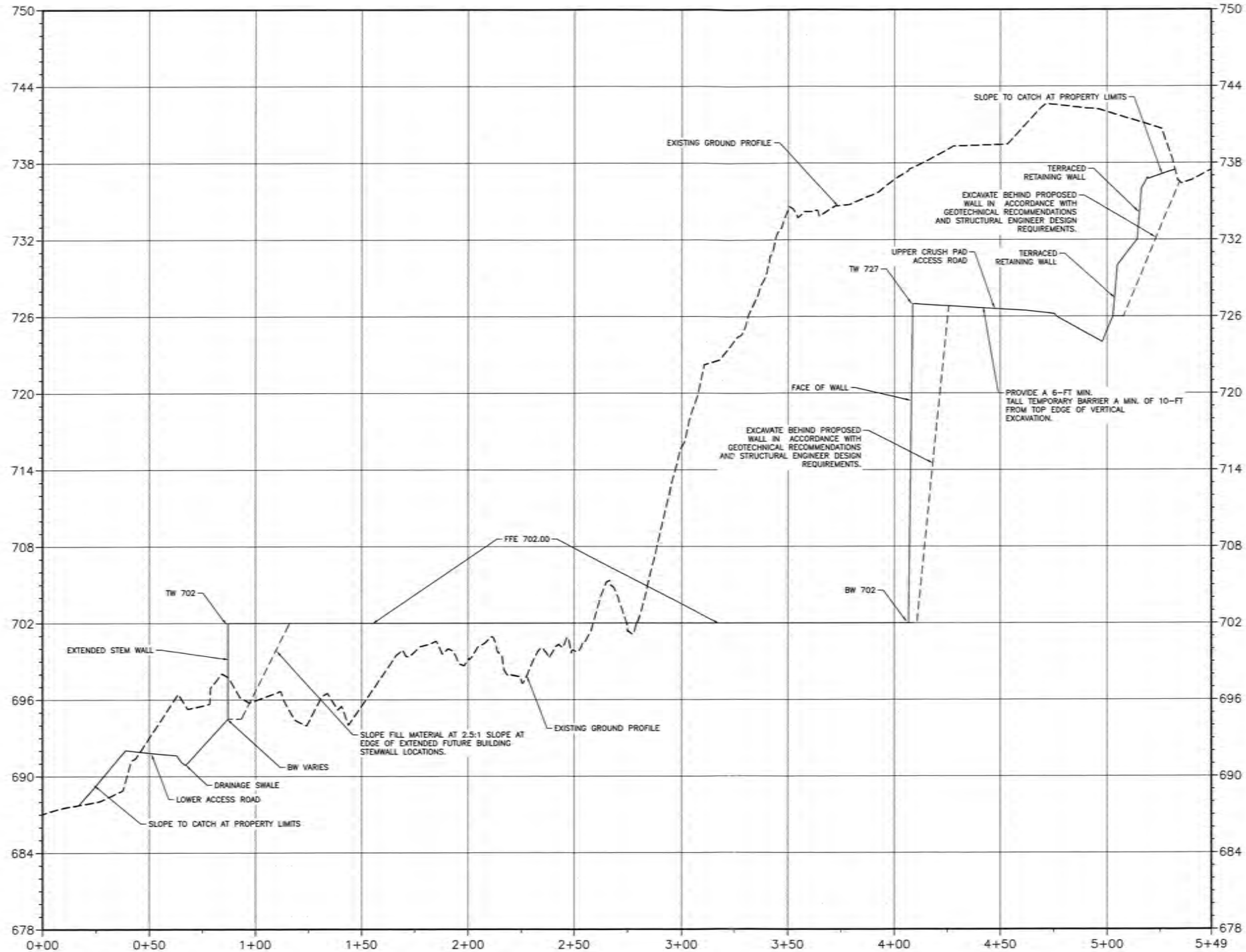
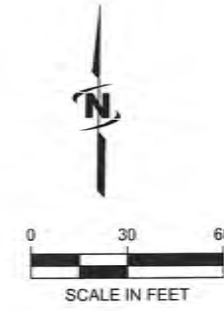
NOTES:

1. ALL SPOT ELEVATIONS ARE TOP OF FINISHED GRADE UNLESS OTHERWISE NOTED. REFER TO PAVEMENT SECTION AND BUILDING SLAB SECTION FOR GRADING DETAILS.
2. GRADE TO TOP OF SUBGRADE FOR ALL ROADWAY AREAS. SEE DETAIL A1/C-101 FOR DETAILS.
3. GRADE TO TOP OF SUBGRADE FOR ALL BUILDING SLAB AREAS. SEE DETAIL A2/C-101 FOR DETAILS.
4. FOR ALL AREAS OUTSIDE OF PAVED ROADWAYS AND BUILDING SLABS, GRADE TO TOP OF FINISHED GRADE (± 0.10-FT). COMPACT TO 92% OF MAX. DRY DENSITY PER ASTM D-1557 OR APPROVED EQUAL.



J-U-B ENGINEERS, INC.

J-U-B ENGINEERS, INC.
2810 W. Clearwater Ave.
Suite 201
Kennewick, WA 99336
Phone: 509.783.2144
Fax: 509.736.0790
www.jub.com



A SITE GRADING CROSS SECTION
SCALE: N.T.S.

PRELIMINARY
PLANS

NOT FOR
CONSTRUCTION

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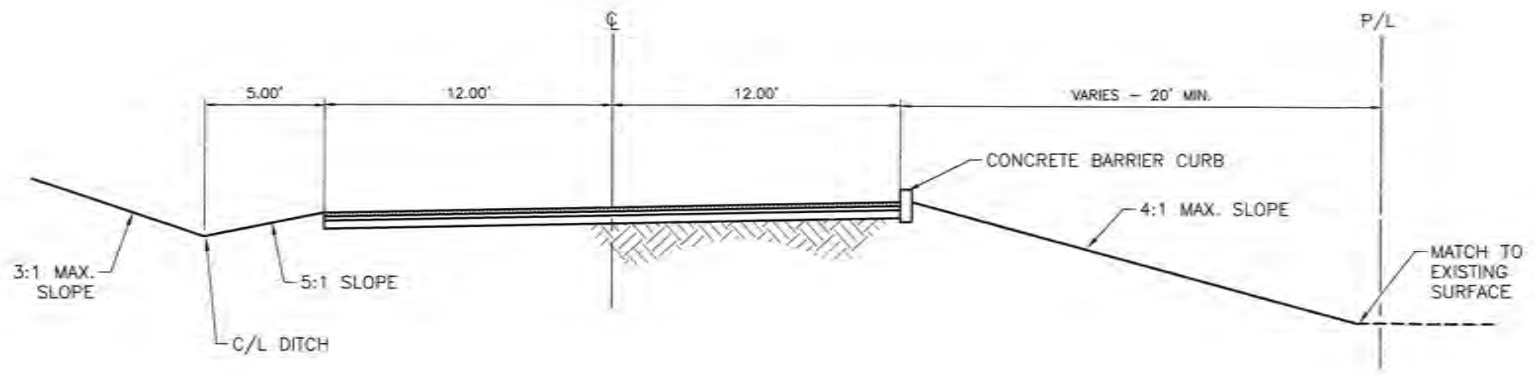
NO.	REVISION	DESCRIPTION	BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA

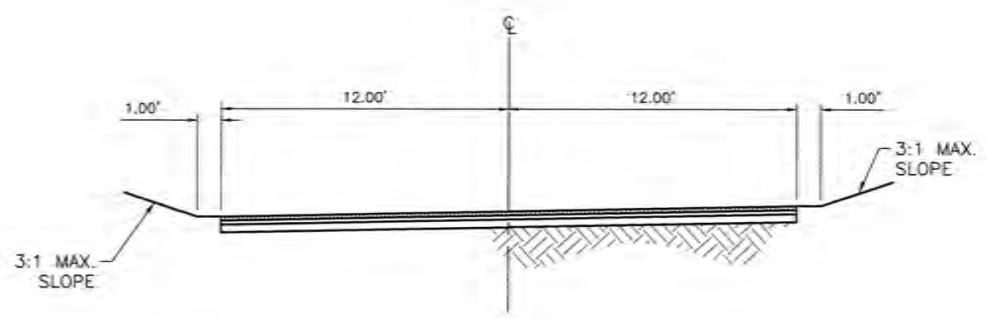
ROUGH GRADING PLAN SECTION VIEW

FILE: 30-16-043_C-202
JOB PROJ #: 30-16-055
DRAWN BY: JGC
DESIGN BY: MAM
CHECKED BY: DSM
ONE INCH
AT FULL SIZE, IF NOT ONE
INCH SCALE ACCORDINGLY
LAST UPDATED: 9/27/2018

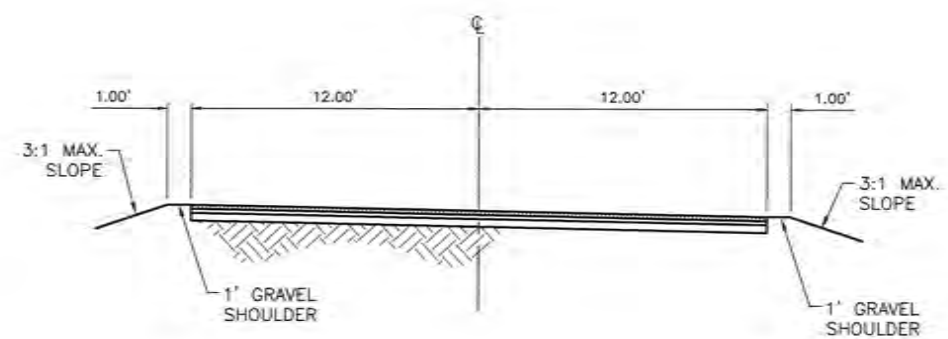
SHEET NUMBER:
C-202



1 ROADWAY SECTION A-A
SCALE: N.T.S.



2 ROADWAY SECTION B-B
SCALE: N.T.S.



3 ROADWAY SECTION C-C
SCALE: N.T.S.



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NO.	DESCRIPTION	BY	DATE

AQUILINI WINERY
RED MOUNTAIN AVA

DETAILS

FILE: 30-18-043-C-501
JUB PROJ. #: 30-18-013
DRAWN BY: JDC
DESIGN BY: MAM
CHECKED BY: DSM
ONE INCH
AT FULL SIZE, IF NOT ONE INCH, SCALE ACCORDINGLY
LAST UPDATED: 9/27/2016
SHEET NUMBER:

C-501

April Brown

From: Shanna Everson <eversons@bentonpud.org>
Sent: Friday, March 15, 2019 11:40 AM
To: Planning Department
Subject: RE: [E] Agency review of CUP 2019-001 (Aquilini)

HEM 1.3

Where is the road access for this and does it have a utility easement up the road?

Shanna Everson
Distribution Design Tech 1
509-585-5367



From: Planning Department [mailto:Planning.Department@co.benton.wa.us]
Sent: Friday, March 15, 2019 9:19 AM
To: Benton Franklin Health District - Rick Dawson; Fire District #4; Dale Wilson; KID Review (development@kid.org); Cristina Woods; Jeff Liner; Tavis Hatfield; Jenelle Schadler; Ken Williams; Michelle Johnson; Rod Worthington; Steve Brown; Troy Taylor; Brenda Webb; Chad Brooks; Roxanne Weller; Shanna Everson; Tina Archey; Jeff Vosahlo; Mike Irving
Subject: [E] Agency review of CUP 2019-001 (Aquilini)

Please see the attached agency review materials for the Aquilini Red Mountain project to construct new wine processing facilities.

Please have all comments back to our office by March 29, 2019. If you will need more time to comment, please contact our office as soon as possible.

Due to the size of the documents, I have significantly reduced the quality of the Civil and Architectural drawings attachments. If you need a better quality image, please let me know and I can send you a hi-res version of that page.

Thank you!



April Brown,
Office Assistant III
Benton County Planning Department
PO Box 910 Prosser WA 99350
(509) 786-5612
[Website](#)

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Benton County Fire Marshal's Comments
Planning Department's Referral Forms

HEM 1.4

TO: Clark Posey, Assistant Planning Manager

COP 19-01

Date Received 3-18-19

Date Returned 3-20-19



Applicant's Comments: Aquilini Red Mountain Vineyards Limited Partnership, Aquilini Centre, Gate 16 in Rogers Arena, 700 Pat Quinn Way, Vancouver, BC, Canada, Jaime Mallis 604-899-5394. Proposes 170,000 sq.ft winery to be constructed in three phases. The first is grading, followed by the construction of the winery, and third phase is constructing the tasting room. The time line for Phase I and II is Fall 2018 to Fall 2019. Tasting Room's time frame is 2020-2021.

Fire Marshal's Comments:

No final comments, of course, can be provided until the building plans have been submitted. The following five areas are some of the major areas that will be considered. This is not an exhaustive list:

1. **Fire flow:** NFPA 1231 is used to determine the fire flow. It is based on the type of construction, the building's sq.ft, the building's height, and the fire sprinkler system.
 - a. Given the building's size, it is doubtful it would be practical to store the water in aboveground or underground tanks.
 - b. A lined pond with weed maintenance program is acceptable.
2. Regarding the sprinkler system, NFPA (National Fire Protection Association) 13 Standard and the 2015 IFC (International Fire Code) will govern.
 - a. High piled storage requirements (IFC Chapter 32) is generally applicable when storage of case goods or barrels exceed twelve feet. From the information and correspondence submitted to date, it appears the winery will be installing an ESFR (Early Suppression Fast Response) system.
 - b. With ESFR system being used, smoke/heat vents and draft curtains are not required.
 - c. The sprinkler permit fee is \$132.00 plus .65 per head.
 - d. Sprinkler plans are to be designed and installed by individuals approved by the WA. State Fire Marshal's Office.
 - i. This also includes the fire pump installed in accordance to the IFC and NFPA 20, and the underground installed to NFPA 24. The fire pump shall be capable of supplying the hydraulic remotest hydrant at 1,000gpm at a residual pressure of 20psi.
 - ii. The underground joints and thrust blocks are not to be covered until after the hydro test has been approved. A letter from Mr. Gramlich stating the thrust blocks and the hydro-test meets the NFPA requirements is required.
 - iii. A fire flow test will be conducted by this office. For occupancy to be granted, the required flow of 1,000 gpm at a residual pressure of 20 psi must be present at the hydrant that is the most hydraulic distant from the fire pump.
 - iv. In PDF format, a copy of the sprinkler plans is to be sent to this office.
 1. A third-party review from either Mr. Gramlich or another FPE or NICET Level III individual is required of the sprinkler system. The reviewer's comments (in PDF format) are to be sent to this office.
 2. Should the reviewer require any portion of the system to meet a higher standard than what is designed, the reviewer's comments shall site the applicable code section, and

include an appropriate rationale for the change.

3. Should the rationale not be within the code, then compliance to the reviewer's suggested change is at the owner's discretion.
 - e. The sprinkler system is to be fully supervised.
3. Hydrant number and locations are to be approved by Fire Chief Bill Whealan.
 - a. A scaled site plan showing the locations of proposed hydrants, 8" water mains, fire pond and fire pump is needed.
 - b. All hydrants shall have 5" Storz adapters, with blue reflected tape, installed. See Pg. 3
4. Fire Department access, as per IFC Table 3206.2, to the high piled stock area(s) will be required.
5. Fire extinguisher locations and size per NFPA 10 are required.

Benton County Building Department

Steve Brown, Manager

Building Department
 5600 W. Canal Place, Box 105A
 Kennewick, WA. 99336
 (509)-735-6555 ext 2415
 From Prosser call 786-5622
 Fax 736-2732

Planning Department
 PO Box 910, 1002 Dudley Ave.
 Prosser, WA. 99350
 (509) 786-5612
 From Tri-Cities call 736-3086
 Fax 786-5629

Benton County Fire Marshal

Policy: Benton County Fire District's Storz Requirements

Date: Monday, June 23, 2008

Purpose:

Provide for a uniform method for meeting the requirements of BCC3.18.036 (a) WATER SYSTEM REQUIREMENTS--FIRE HYDRANTS--GENERAL STANDARDS.

Scope:

This policy is applicable only to pressurized fire hydrants that are installed within the individual Fire Districts of Benton County.

Procedure:

Upon the Benton County Fire Marshal's office receiving an application from the Benton County Planning Department, a review will be conducted to determine if pressurized fire hydrants are required. Prior to approving the fire hydrant system, an inspection will be conducted to determine if the storz fitting complies with Table 1 and Figure 1. Figures 2 through 4 shows the three fittings that are required for each hydrant.

Fire District	Soft Suction Connection	Storz Required
1 (Kenn area)	5"	Yes
2 (B.City Area)	4"	Yes
3 (Prosser)	4"	Yes
4 (W. Rich)	5"	Yes
5	None	No Hydrants
6 (Pat/Ply)	5"	Yes

Table 1

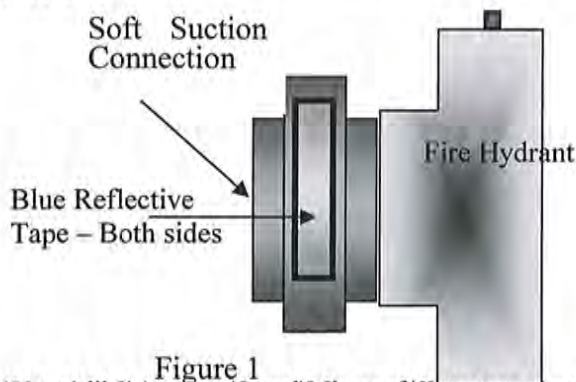


Figure 1



Fig. 2
Storz to hydrant adapter



Fig. 3
Storz to storz adapter

Fig. 4
Storz blind cap



April Brown

From: Shawn Brown <shawnb@bfhd.wa.gov>
Sent: Thursday, April 04, 2019 10:25 AM
To: Planning Department; April Brown
Subject: CUP 2019-001 for Aquilini



Dear Ms. Brown:

This office has reviewed the application material for the proposed Conditional Use Permit, and has the following requirements:

1. This site must be served by an approved Group A Well. The applicant will need to contact the State Department of Health to begin the process (509-329-2100) <- From my records I believe this is the phone # to their front desk operator. The State D.O.H. may ask that our office complete the well site review, as we are much closer to the proposed project. If that is the case, the applicant will need to submit a well site review application to this office.
2. This office has received one septic system application for the Main Facility, and will need a second one submitted for the proposed Tasting Room. This office will not be issuing a septic system permit for either proposed buildings until the Group A Well has been applied for, drilled, inspected and approved by the State Department of Health. In addition, final approval/occupancy will not be granted until the associated on-site sewage system has been permitted, inspected and approved by this office.
3. The applicant will need to contact, and obtain a permit for the treatment/disposal of the processed grape waste from the Department of Ecology prior to starting construction on Phase 2B (Fine Wine Production Facility).

Please contact me with any questions, thank you.





Shawn Brown RS
Environmental Health Specialist II

Benton-Franklin Health District

7102 W. Okanogan Place,
Kennewick, WA 99336

p: 509.460.4320

www.bfhd.wa.gov ShawnB@bfhd.wa.gov

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2015 South Ely Street
Kennewick, WA 99337
Customer Service 509-586-9111
Business 509-586-6012
FAX 509-586-7663
www.kid.org

March 29, 2019

HEM 1.6

Clark A. Posey
Benton County Planning Department
P.O. Box 910
Prosser, WA 99350

RE: Review CUP 2019-001

Dear Mr. Posey,

The Kennewick Irrigation District has received your Conditional Use Permit submitted by the Aquilini Red Mountain Vineyards, LP, to construct a gravity-flow wine facility and tasting room near the intersection of SR 224 and Antinori Road.

1. This parcel is within the Kennewick Irrigation District (KID) boundaries and is considered irrigable lands; therefore, it is assessed by the Kennewick Irrigation District.
2. KID owned pipes and easements existing along the north and west property lines. Approval from KID is required for any grade changes within the easements.

Sincerely,

Daniel Tissell, P.E.
Staff Engineer

Enclosure

C: LB/correspondence/File: [15-09-27]





HEM 1.7



**BENTON COUNTY WA
PUBLIC WORKS DEPARTMENT**

TO: PLANNING DEPARTMENT
FROM: CRISTINA WOODS
DATE: 4/2/19
SUBJECT: COMMENTS FOR CUP 2019-001

Our department has the following comments for CUP 2019-001:

This conditional use permit application should be forwarded to WSDOT for review

Planning Department
P.O. Box 910
1002 Dudley Avenue
Prosser, WA 99350



HEM 1.8

Phone (509) 786-5612
Fax (509) 786-5629
planning.department@co.benton.wa.us
co.benton.wa.us

NOTICE OF OPEN RECORD HEARING

NOTICE IS HEREBY GIVEN that the following application has been proposed to the Benton County Hearings Examiner, Benton County, Washington.

CUP 2019-001: The applicant, Aquilini Red Mountain Vineyards, LP, is requesting permission to construct a new 137,000 SF wine processing facility in an existing abandoned gravel pit. A second phase will include construction of a gravity-flow wine facility and tasting room. The site is located on Red Mountain, near the intersection of SR 224 and Antinori Road in Section 15, Township 09 North, Range 27 East, W.M.

NOTICE IS ALSO GIVEN that said proposal was reviewed under the requirements of the State Environmental Policy Act and a Mitigated Determination of Non-Significance (MDNS) was issued on November 8, 2018. A copy of the environmental checklist and the threshold determination for this proposal may be obtained from the Benton County Planning Department. Any comments regarding this determination and its environmental impacts can be made before the Hearings Examiner at the time and place indicated above or in writing to the Benton County Planning Department by 4 p.m. on Friday, April 12, 2019.

NOTICE IS GIVEN that said application will be considered by the Benton County Hearings Examiner at the public hearing on Monday, April 15, 2019 at 10:00 a.m. in the Planning Annex Hearing Room at 1002 Dudley Avenue, Prosser WA 99350. All concerned persons may appear and present any support for or objections to the application or provide written testimony to the Hearings Examiner in care of the Planning Department on or before the date of the hearing. More information concerning the action can be obtained by contacting Clark A. Posey, Assistant Planning Manager at the Benton County Planning Department, 1002 Dudley Avenue/P.O. Box 910, Prosser, WA 99350 (509) 786-5612. Any information submitted to Benton County is subject to the public records disclosure law for the State of Washington (RCW Chapter 42.17) and all other applicable law that may require the release of the documents to the public. It is suggested that if you plan on attending the hearing that you call the Benton County Planning Department by 8:30 a.m. the morning of the hearing to confirm that the hearing will be conducted as scheduled.

It is Benton County's policy that no qualified individual with a disability shall, by reason of such disability be excluded from participation in or be denied the benefits of its services, programs, or activities or be subjected to discrimination. If you wish to use auxiliary aids or require assistance to comment at this public meeting, please download and submit the Request for Reasonable Accommodation Form 48 hours prior to the date of the meeting. The form is located on the Benton County website (<https://tinyurl.com/RRAform>) or you may contact the Benton County Planning Department for assistance.

Dated this March 29, 2019

SUSAN E. DRUMMOND
Benton County Hearings Examiner
CLARK A. POSEY, Assistant Planning Manager
Benton County Planning Department

A handwritten signature in black ink, appearing to read "Clark A. Posey", is written over the printed name of the Assistant Planning Manager.

PUBLISH: April 3, 2019